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Borough Council

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Steve Atkinson MA(Oxon) MBA FIoD FRSA
Chief Executive

Date: 09 November 2015

To: **Members of the Planning Committee**

Mr R Ward (Chairman)	Mrs J Kirby
Mr LJP O'Shea (Vice-Chairman)	Mr RB Roberts
Mr RG Allen	Mr SL Rooney
Mr Bessant	Mrs H Smith
Mr DC Bill MBE	Mr BE Sutton
Mrs MA Cook	Miss DM Taylor
Mrs GAW Cope	Ms BM Witherford
Mrs L Hodgkins	Ms AV Wright
Mr E Hollick	Mr K Morrell

Copy to all other Members of the Council

(other recipients for information)

Dear Councillor,

There will be a meeting of the **PLANNING COMMITTEE** in the De Montfort Suite, Hinckley Hub on **TUESDAY, 17 NOVEMBER 2015 at 6.30 pm** and your attendance is required.

The agenda for the meeting is set out overleaf.

Yours sincerely

A handwritten signature in black ink, appearing to read 'R Owen'.

Rebecca Owen
Democratic Services Officer

PLANNING COMMITTEE - 17 NOVEMBER 2015

A G E N D A

1. APOLOGIES AND SUBSTITUTIONS

2. MINUTES (Pages 1 - 4)

To confirm the minutes of the meeting held on 20 October 2015.

3. ADDITIONAL URGENT BUSINESS BY REASON OF SPECIAL CIRCUMSTANCES

To be advised of any additional items of business which the Chairman decides by reason of special circumstances shall be taken as matters of urgency at this meeting.

4. DECLARATIONS OF INTEREST

To receive verbally from Members any disclosures which they are required to make in accordance with the Council's Code of Conduct or in pursuance of Section 106 of the Local Government Finance Act 1992. **This is in addition to the need for such disclosure to be also given when the relevant matter is reached on the agenda.**

5. QUESTIONS

To hear any questions in accordance with Council Procedure Rule 10.

6. DECISIONS DELEGATED AT PREVIOUS MEETING

The Deputy Chief Executive (Community Direction) to report progress on any decisions delegated at the previous meeting.

7. 15/00416/FUL - THE OLD HOUSE FARM, SUTTON LANE, CADEBY (Pages 5 - 20)

Application for cessation of the architectural salvage and reclamation yard and removal of the existing poultry buildings for the erection of 8 dwellings and associated works.

8. 15/00867/HOU - 223 MARKFIELD ROAD, GROBY (Pages 21 - 26)

Application for erection of garage/shed and 4-bay dog kennel (retrospective).

9. 15/00920/HOU - 2 CHURCH ROAD, PECKLETON (Pages 27 - 32)

Application for raising of roof, erection of first floor and insertion of dormer windows to front.

10. 15/00927/FUL - THE POPLARS, WATLING STREET, HINCKLEY (Pages 33 - 40)

Application for erection of three dwellings and associated access and car parking. Replacement of pitched roof to the flat roof extension of The Poplars.

11. 15/00827/FUL - LAND NORTH EAST OF RESERVOIR ROAD, THORNTON (Pages 41 - 50)

Conversion and extension of agricultural building for stables, formation of ménage, improvements to existing access, hard surfaced parking and turning area and change of use of land for the keeping of horses.

12. 15/00951/OUT - MERRIFIELD HOUSE, MERRIFIELD GARDENS, BURBAGE (Pages 51 - 64)

Demolition of existing buildings and erection of 7 dwellings (outline – all matters reserved).

13. PLANNING POLICIES (Pages 65 - 70)

To be read in conjunction with the above applications.

14. APPEAL DECISION - 148 KIRKBY ROAD, BARWELL (Pages 71 - 74)

Decision of the Planning Inspectorate attached.

15. APPEALS PROGRESS (Pages 75 - 78)

Report of the Deputy Chief Executive (Community Direction) attached.

16. DELEGATED DECISIONS ISSUED (Pages 79 - 96)

Report of the Deputy Chief Executive (Community Direction) attached.

17. ANY OTHER ITEMS OF BUSINESS WHICH THE CHAIRMAN DECIDES HAVE TO BE DEALT WITH AS MATTERS OF URGENCY

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Agenda Item 2

HINCKLEY AND BOSWORTH BOROUGH COUNCIL

PLANNING COMMITTEE

20 OCTOBER 2015 AT 6.30 PM

PRESENT: Mr R Ward - Chairman
Mr LJP O'Shea – Vice-Chairman
Mr RG Allen, Mr Bessant, Mr DC Bill MBE, Mrs MA Cook, Mrs L Hodgkins, Mr E Hollick,
Mrs J Kirby, Mr K Morrell (for Ms AV Wright), Mr K Nichols (for Ms BM Witherford),
Mr RB Roberts, Mr SL Rooney, Mrs H Smith and Mr BE Sutton

In accordance with Council Procedure Rule 4.4 Councillors Mr MA Hall were also in attendance.

Officers in attendance: Simon Atha, Joseph Matharu, Rebecca Owen, Michael Rice and Nic Thomas

211 APOLOGIES AND SUBSTITUTIONS

Apologies for absence were submitted on behalf of Councillors Mrs Cope, Witherford and Wright, with the following substitutions authorised in accordance with Council Procedure Rule 4:

Councillor Nichols for Councillor Mrs Cope
Councillor Cartwright for Councillor Witherford
Councillor Morrell for Councillor Wright.

212 MINUTES

It was moved by Councillor Bill, seconded by Councillor Allen and

RESOLVED – the minutes of the meeting held on 22 September be confirmed and signed by the Chairman.

213 DECLARATIONS OF INTEREST

No interests were declared at this stage.

214 DECISIONS DELEGATED AT PREVIOUS MEETING

It was reported that all decisions delegated at the previous meeting had been issued.

215 15/00570/FUL - STRETTON HOUSE, WATLING STREET, BURBAGE

Application for change of use of residential to mixed use of premises to provide accommodation and meeting and teaching facilities, extensions and alterations, alterations to access and provision of associated car parking.

Notwithstanding the officer's recommendation that permission be granted subject to conditions and a unilateral undertaking, members felt that the intensity of use, particularly at the weekend, and the traffic that would be generated, would be detrimental to residential amenity and highway safety. It was moved by Councillor Rooney and seconded by Councillor Roberts that the application be refused for these reasons. Upon being put to the vote the motion was CARRIED and unanimously

RESOLVED – the application be refused for reasons of impact on highway safety and residential amenity.

Councillors Hall and Rooney left the meeting at 6.52pm.

216 15/00186/COU - 40D RATBY LANE, MARKFIELD

Application for part change of use of dwelling to nursery/childcare.

Notwithstanding the officer's recommendation that permission be granted, some members felt that the proximity to neighbours and the intensified use of the private driveway made this an unsuitable location for this business. It was moved by Councillor Bessant and seconded by Councillor O'Shea that permission be refused for this reason. Upon being put to the vote, the motion was CARRIED and it was

RESOLVED – the application be refused on grounds of detriment to residential amenity and highway safety.

217 15/00416/FUL - THE OLD HOUSE FARM, SUTTON LANE, CADEBY

Application for cessation of the architectural salvage and reclamation yard and removal of existing poultry buildings for the erection of 8 dwellings and associated works.

Due to additional information which had come to light about the control of the use of the reclamation yard and the length of time it had been operating, it was moved by Councillor Cook and seconded by Councillor Nichols that the application be deferred. Upon being put to the vote the motion was CARRIED and it was

RESOLVED – the application be deferred to allow further consideration of the abovementioned matters.

218 15/00633/FUL - LAND AT REAR OF 4 PIPE LANE, ORTON ON THE HILL, ATHERSTONE

Application for erection of 2 dwellings and garages.

Some members expressed concern regarding the height of the proposed properties and felt that the information and drawings that had been presented were insufficient to be able to make a decision. Councillor Cartwright, seconded by Councillor Morrell, proposed that the application be deferred in order to request this information.

Following officer advice, it was moved by Councillor O'Shea and seconded by Councillor Nichols that the decision be delegated to officers in consultation with the Chairman and the Ward Councillor to approve on receipt of the requested plans, or bring back to committee should they not be happy with the aforementioned plans.

Councillors Cartwright and Morrell agreed to withdraw the motion to defer the application on the condition that the ward councillor consults with residents via the person who made representations at the meeting on behalf of the objectors, which was subsequently agreed.

Upon being put to the vote, Councillor O'Shea's motion to delegate the decision was CARRIED and it was unanimously

RESOLVED – the decision be delegated to officers in consultation with the Chairman and the Ward Councillor following consultation with residents.

219 15/00694/FUL - ASDA, BARWELL LANE, HINCKLEY

It was reported that this application had been deferred following a late objection being received from the Environment Agency to allow the applicant the opportunity to address the concerns.

220 15/00624/CONDIT - 1 BURTON ROAD, TWYXCROSS, ATHERSTONE

Application for variation of condition 2 of planning permission 10/00133/FUL to allow for the removal of two car parking spaces.

Notwithstanding the officer's recommendation that the application be approved, some members felt that there was no evidence that the spaces were not required, and there were in fact parking problems in the area, partly due to a requirement for parking spaces for these properties over and above what had been provided. It was moved by Councillor Morrell and seconded by Councillor Cartwright that the application be refused for reasons of loss of residential amenity. The motion was CARRIED and it was

RESOLVED – the application be refused on grounds of loss of residential amenity.

221 APPEAL DECISIONS

It was moved by Councillor Allen, seconded by Councillor Cartwright and

RESOLVED – the report be noted.

222 APPEALS PROGRESS

It was moved by Councillor Allen, seconded by Councillor Cartwright and

RESOLVED – the report be noted.

223 DELEGATED DECISIONS ISSUED

It was moved by Councillor Cartwright, seconded by Councillor Allen and

RESOLVED – the report be noted.

(The Meeting closed at 8.15 pm)

CHAIRMAN

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Reference: 15/00416/FUL

Applicant: Mr & Mrs G Denny

Location: The Old House Farm Sutton Lane Cadeby

Proposal: Cessation of the architectural salvage and reclamation yard and removal of the existing poultry buildings for the erection of 8 dwellings and associated works

RECOMMENDATION:- Grant subject to conditions.

Introduction:-

This planning application was deferred from Planning Committee on 20 October 2015 to allow further discussions with the applicant about the historical use of the site as a reclamation yard.

Application Proposal

The application proposes the demolition of the existing poultry units on the front portion of the site, and the erection of eight dwellings on both this front portion and land to the rear which is currently used as a salvage and reclamation yard. Planning permission has previously been granted for the conversion of the existing single storey poultry buildings on the front portion of the site into five dwellings.

The new dwellings would be positioned around an open courtyard that would contain a feature landscaped area in its centre. The buildings would range between single to two and a half storeys in height, with associated single storey garages and landscaping. The car parking would be provided within the courtyard to the front of each unit. The existing access to the site from Sutton Lane would be retained. This would split within the site to allow vehicles to access a private driveway linking to land at the north and east of the site. Each unit would have private gardens.

Site and Surrounding Area

The application site comprises a square parcel of land with an area of 1.13 hectares (2.8 acres). The site has an existing double access off Sutton Lane towards the western end of the highway facing boundary. The farmhouse associated with the holding is sited to the north of the site and is served by the same access. Mature native hedgerow forms the northern, western and southern boundaries of the site. Internally the site is subdivided into two distinct parcels of land. A mature belt of conifers divides the site. The eastern (rear) boundary of the site is demarcated by a close boarded timber fence and vegetation.

The original site comprised of agricultural land, with four poultry units. The existing buildings are single storey in nature, with low eaves and ridge heights with shallow pitched roofs.

The western section of the site comprises that on which the four poultry units are sited. It is understood that the poultry enterprise and therefore the use of these buildings for their intended (agricultural) purpose ceased in roughly 2004. As illustrated by aerial photography taken in 2006 it is apparent that the use of these buildings for the storage of building materials had commenced at this time. From this evidence it is also clear that the existing farmstead had been extended unlawfully into the undeveloped countryside to the north and that new boundary treatment (close boarded fence and hedgerow) had been erected. A

reclamation/salvage business has been operated from the eastern section of the site. No buildings have been erected in association with this use; this section of the site solely involves the storage of building materials.

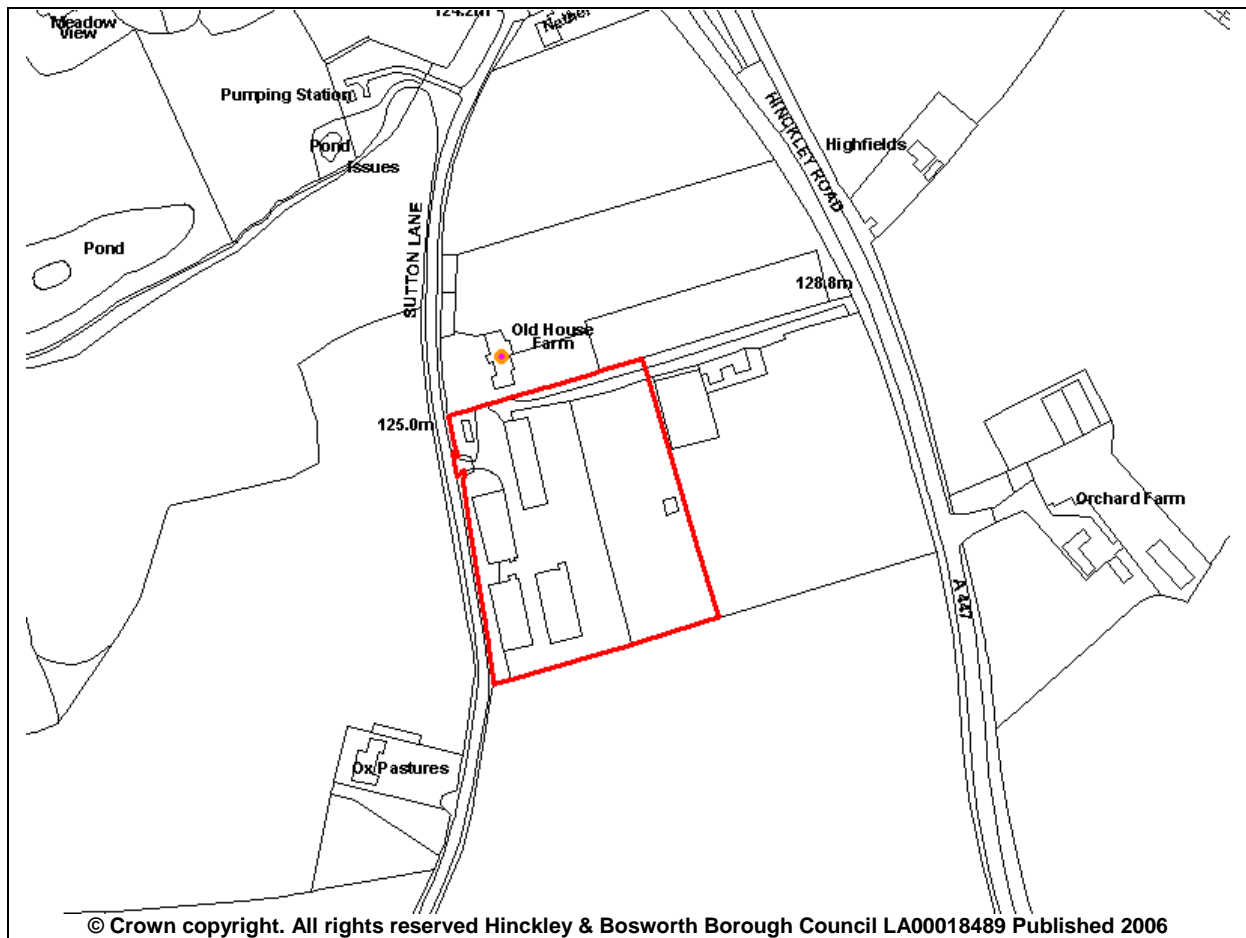
Since the October Planning Committee, further information has been submitted to seek to demonstrate that a reclamation business has operated from the site for over 10 years. This is important as this type of use is both noisy and unsightly and the council's ability to take enforcement action to cease that use is material to determination of this application. While a planning application is not the correct forum for providing a lawful determination about a particular use, the information submitted by the application has helped to form a view about the way the site has been operating and how it could impact upon amenity. This is considered further later in this report.

Relevant Planning History

87/01279/4	Erection of agricultural bungalow for use in connection with poultry farm	Refused	23.02.1988
88/00839/4	Erection of a new bungalow	Approved	23.08.1998
81/00808/4	Extension to No 3 Broiler House	Approved	22.09.1981
94/00238/FUL	Erection of a poultry house	Approved	19.04.1994
94/00354/FUL	Poultry house	Approved	24.06.1994
97/00818/TEMP	Retention of portable building for office use	Approved	11.12.1997
01/00769/FUL	Removal of agricultural occupancy condition	Refused	10.11.2001
14/00286/FUL	Conversion of existing buildings to form 5 residential dwellings with associated works	Approved	12.01.2015

Technical Documents

Ecology Survey
Planning Statement
Design and Access Statement.



Consultations:-

Cadeby Parish Council has objected to the planning application, raising the following issues:-

- The proposal does not comply with the Development Plan
- Planning permission has been granted for a previous scheme for the conversion of the existing agricultural buildings on site, which is appropriate to the rural location and setting.
- The development would be unsustainable.
- The site is situated outside of the settlement boundary.
- Proposal would lead to a 12% increase in the total number of dwellings to the village.
- Cadeby lacks the services to accommodate the increase in housing.
- No land in or adjacent to Cadeby is identified for new housing within the Hinckley and Bosworth Borough Council Site Allocations Document.
- New builds would not be in keeping with the rural character of the village.
- The development would occupy a significantly greater area of the site than the area occupied by the existing agricultural buildings.
- The proposed dwellings would be two storeys, and therefore would appear prominent along Sutton Lane. The scheme would have a detrimental visual impact on the rural setting and gateway to the Conservation Area.
- Would be contrary to the Cadeby Conservation Area Management Plan, which describes Sutton Lane as providing a "pleasant entry into the village that gives rise to views of farm outbuildings".
- The Conservation Area Appraisal Map identifies views from Wood Lane towards the application site that should be protected.

- Concerns with highway safety for both pedestrians and drivers, as Sutton Lane is a substandard road with no street lighting or footpath.
- Development would lead to an increase in housing along Sutton Lane of almost `300%, which would result in a significant increase of vehicle and pedestrian movement along the lane.
- Concerns with drainage of surface water into the existing sewer system.

A petition has been received with 43 signatures, objecting to the application. The following objections have been raised:-

- Lack of safety and suitable access to the site via Sutton Lane which has 6 blind bends situated to the North and South of the proposed access, is very narrow having no central demarcation, is a busy "rat-run" between Bosworth, the Fenn Lanes and the A5, is used by large commercial and farm vehicles, has no speed limit, vehicle weight restriction, footpaths, or street lighting. Vehicles are unable to pass each other without difficulty. Safety mirrors have been erected by residents in order to combat the winding nature of the road. The road is currently unsafe to be utilised by pedestrians and cyclists, thus using the road as access to bus routes or Cadeby Village would be dangerous. The proposal would result in the increase in vehicle numbers utilising the road, which is already unsafe.
- Drainage of the site. The village drainage system is already inadequate. When overwhelmed, the pumping station discharges foul waste into the watercourse resulting in noxious smells and environmental damage. Wood Lane floods frequently when drains are overwhelmed. The development would ultimately add to the existing problems with drainage.
- Contravention of the Conservation status of Cadeby as defined by the "Cadeby Appraisal" and the resulting "Long Term Strategy for the Village". "Protected views" from "listed and historical buildings" would be lost. "Gateways" in Sutton Lane would be detrimentally changed. "The transition to the countryside" in Sutton Lane would be detrimentally changed. There would be significant change in the protected "character" of the village by the large footprint, height, design, access visibility splay and location of this development. The proposed development is outside of the settlement boundary, and of such a size as would change the "centre of gravity" of the village away from the "heart of the Conservation Area and the intersection between Main Street and Wood Lane".

Additionally, objections have been received from 9 neighbouring properties, raising the following issues:-

- Would result an unacceptable increase in traffic to substandard Sutton Lane.
- Would have a detrimental impact on the conservation area
- The proposed designs of the dwellings would not be in keeping with the existing single storey buildings on site, and thus would detract from the character of the village.
- Proposal would set a precedent for future development outside of the settlement boundary.
- Concerns with sewage and drainage on the site, and adding to the existing problems with drainage within the village.
- Cadeby lacks the services to accommodate the increase in housing.
- Development would result in the loss of the "small village community".

- Original planning permission for the conversion of the existing agricultural buildings on site was not intended to be carried out, and was used as a gateway to the submission of the current application.
- Development would be an eyesore.
- Members of the public were not given the opportunity to present their views on the proposal.
- Surrounding housing developments within Market Bosworth, Newbold Verdon and Desford are better equipped to accommodate an increase in housing.
- Sutton Lane has no street lighting or pavements to accommodate additional pedestrian footfall.
- Would result in a 12% increase to the population of the village.
- Size of the proposal would be overwhelming and oppressive.
- Development would result in the erection of 3 storey buildings, which is out of character with the existing area.
- The site is agricultural land.

Leicestershire County Council (Highways) has raised the following objections to the application:-

- The opportunities for sustainable transport modes have not been taken up/ there are no opportunities for sustainable transport modes
- Safe and suitable access to the site cannot be achieved for all people
- Improvements have not been offered within the transport network that cost effectively limit the significant impacts of development
- Failure to demonstrate that proposal will be in a location where services are readily and safely accessible by walking, cycling and public transport.

Environmental Services (Drainage) have requested the submission of a Flood Risk Assessment for the application, in accordance with the NPPF.

No objections subject to conditions have been received from:-

Leicestershire County Council (Ecology)

Severn Trent Water

Street Scene Services (Waste)

Environmental Health (Pollution)

Policy:-

National Planning Policy Framework (NPPF)

Emerging Site Allocations and Development Management Policies DPD (SADMP):-
Policy DM4 Safeguarding the Countryside and Settlement Separation

Hinckley and Bosworth Local Plan 2001:-

Policy BE1 Design and Siting of Development
Policy NE5 Development in the Countryside
Policy RES5 Residential Proposals on Unallocated Sites
Policy T5 Highway Design and Vehicle Parking Standards.

Supplementary Planning Guidance (SPG) New Residential Development

Appraisal:-

The site is situated within the countryside as defined on the adopted Local Plan Proposals Map.

The NPPF states that the Local Plan is the starting point in the determination of planning applications unless material considerations indicate otherwise. In this case the Local Plan constitutes the emerging Site Allocations and Development Management Policies (SADMP), the Hinckley and Bosworth Local Plan (2001) and the Core Strategy (2009). The NPPF is also a material consideration in the determination of this application.

As the site is situated outside the settlement boundary of Cadeby, there are no applicable land-use policies within the Core Strategy of relevance to whether the proposal is acceptable in principle.

In relation to local policies, as the SADMP is at an advanced stage of adoption, the policies within it can be attributed weight in the determination of the scheme. In addition saved policies of the Local Plan are also applicable. Policy DM4 (Safeguarding the Countryside and Settlement Separation) of the SADMP will replace policy NE5, Development in the countryside and Policy RES5, Residential proposals on unallocated sites are the most relevant when considering whether this a residential scheme is acceptable in principle..

The release of the NPPF and its presumption in favour of sustainable development requires Local Plan policies to be considered in terms of their consistency with this presumption and for weight to be attributed accordingly.

Policy NE5 seeks to protect the countryside for its own sake; whilst this initial intent is considered too restrictive and thus contrary to the intentions of NPPF, criterion a - c and i - iv are considered broadly compliant with the NPPF and as such can be attributed weight in the determination of this application.

Policy RES5 relates to residential proposals on unallocated sites and suggests that residential development will not be granted unless it is within a settlement boundary. The intent of this policy is to direct development to the most sustainable locations, which is in accordance with the NPPF and as such some weight can be attributed to it in the determination of the application.

In relation to housing development within the countryside, Paragraph 55 of the NPPF is most relevant. This suggests that to promote sustainable development in rural areas, housing should be located where it will enhance or maintain the vitality of rural communities. It continues that local planning authorities should avoid new isolated homes within the countryside unless there are special circumstances. These include the provision of rural workers accommodation; where the development would result in the optimal viable use of a heritage asset; where the development would re-use redundant or disused buildings; or due to the exceptional quality or innovative nature of the design of the dwelling. In relation to the final point, further clarity is provided. It is suggested that such developments should be truly outstanding or innovative, should reflect the highest standards in architecture, significantly enhance the immediate setting and be sensitive to the defining characteristics of the local area.

There is a clear conflict between the development in relation to policies of the Local Plan and SADMP, in that the development does not fall within one of the categories of acceptable

types of development as cited within these policies, nor is the development considered to be in a sustainable location, by virtue of its countryside position, as required by Policy RES5.

Notwithstanding the Local Plan conflict, as the scheme proposes new residential development within the countryside, evaluation in accordance with the final point of paragraph 55 of the NPPF must be undertaken along with consideration of any other material planning considerations.

The site is used as a reclamation and salvage yard, with a vacant poultry buildings used for storage in association with the business. The general appearance of the site is untidy and the existing timber poultry sheds are in a poor state of repair. The scheme proposes to clear the entire site, demolishing all buildings associated with the historic agricultural use and to re-develop the site through the erection of eight new dwellings.

The dwellings would be arranged in a courtyard formation, following a simple rectangular footprint. Internally there would be a central landscaped feature. Parking would be to the frontage of the development arranged around the landscaped feature and private amenity space would extend to the sites external boundaries. The development would vary in scale between one and a half - two and a half storeys. The variation in ridge and eaves height and the incorporation of architectural detail including header and cill detail, brick plinths, decorative brickwork and chimney stacks along with the use of quality materials would result in a well designed scheme.

Paragraph 55 of the NPPF sets out how local planning authorities should deal with proposals for housing in rural areas. It advises that new isolated homes in the countryside should be avoided unless certain criteria are met. This includes the re-use of redundant or derelict buildings. This weighed in favour of approving the previous scheme on the front portion of this site.

Another criterion of paragraph 55 to allow development in rural areas is where the development proposes a development of exceptional quality or innovative design. In this case, the re-development of the site and the incorporation of additional landscaping and remediation would help to enhance the site's immediate setting. The intention to provide 'green technologies' in the construction of the development would also be positive. However it is not considered that this is a scheme that is outstanding or innovative about the scheme and therefore in this respect it could not be argued that the requirements of paragraph 55 are satisfied.

The surrounding area is rural and undeveloped in character, aside from isolated buildings associated with agriculture. Mature native hedgerow provides a strong highway boundary to this narrow country lane and where buildings do exist, these are predominantly single story. By virtue of its scale, form, volume and design, notwithstanding that the scheme has been attractively designed, it would not be sensitive to the defining characteristics of the local area. Based on the above, the development can not be considered as adhering to the requirements within paragraph 55 of the NPPF.

The applicant considers that there are special circumstances relating to the scheme that would override the in principal policy objection to the development. This includes the view that the site is 'brownfield' (previously developed) land. The applicant has referred to the government's 'Building More Homes on Brownfield Land' statement (January 2015) which promotes development on brownfield sites. As the site has been operating for commercial purposes for a substantial period of time, it is likely that it has become 'previously developed'. This weighs in favour of granting permission

Planning Balance

Based on the above, it is clear that the development, because of its remote location in the countryside would be contrary to Local Plan Policies DM4, NE5 and RES5, and paragraph 55 of the NPPF. It is therefore necessary to consider whether other material considerations outweigh this policy objection.

As part of the report to the October Planning Committee, officers gave weight to the belief that the site was, in all likelihood, operating unlawfully. This meant that while there were concerns about the noisy and unsightly nature of the site and the impact on residents, the belief that this could be controlled through enforcement powers weighed in favour of refusing the application. In other words, the condition of the site carried little weight in over-riding the policy presumption to refuse planning permission.

At the time that the previous report was taken to Planning Committee in October 2015, evidence had not been provided to demonstrate how long the reclamation business had been operating. While the length of time that the business has been operating remains inconclusive, given that no application for a Certificate of Lawful Development has been submitted, the applicant has provided information about how long the business has been operating in the form of advertisements, business documents, statements from customers and other photographs. This would strongly suggest that the business has been operating on a substantial part of the site for at least ten years, which indicates that the use is likely to be immune from enforcement action.

The grant of planning permission for this development presents an opportunity to cease the use of the site as a reclamation yard, removing all materials and equipment and remediating the site. It would also present an opportunity to remove HGV vehicles travelling to and from the site along rural roads. It would improve the site visually and would help to provide a better quality living environment for nearby residents. It would also reduce highway safety concerns associated with the movement of heavy goods vehicles. This weighs heavily in favour of approving this application.

In granting planning permission earlier this year to convert the existing poultry sheds to five dwellings (ref. 14/00286/FUL), the council gave weight to the belief that the reclamation yard to the rear would cease. Since the October Committee meeting, it has been established that there are no controls in place to prevent the reclamation yard from continuing alongside the converted residential units. This would create an unacceptable conflict of non-conforming uses. New residents could be subject to significant problems of noise, dust and other pollution. They would potentially have commercial vehicles driving past the front of their properties, with no controls over times of use, the numbers of vehicles or the type of equipment being used. They would also have views of the unsightly storage and processing of construction material. Approving this application presents an opportunity to prevent that situation from occurring. The applicant has agreed to sign a S106 planning obligation to effectively revoke planning permission 14/00286/FUL. This is to be welcomed.

The current application would increase the number of dwellings by three compared with the five approved as part of the poultry conversion scheme earlier this year. While the policy position to resist new development in this type of unsustainable location remains as relevant as when the application was reported to Committee in October 2015, in light of the further information provided by the applicant, the benefits of granting permission outweigh local and national policies. On balance therefore, the principle of the development is considered to be acceptable.

Design and Character

Policy BE1 (criterion a) of the Local Plan and DM10 of the emerging SADMP seeks to ensure that proposals complement or enhance surrounding development through materials, design and architectural features. Paragraphs 56 and 58 of the NPPF identify good design as a key aspect of sustainable development.

The scheme is considered well designed, with good architectural detailing, symmetry and proportionality. By virtue of the existing screening on site, and the fact that views from the entrance to the site (off Sutton Lane) would be of the proposed single storey unit, it is not considered that the development would adversely alter the existing character of the area.

Further, given that the current permitted scheme (planning permission 14/00286/FUL) approved 5 residential units on the land, the addition of 3 units would not significantly alter the level of built development, and therefore the development would not compromise the openness and character of the countryside. Additionally, given the current use of the site as a reclamation yard, the proposed landscaping of the site would provide an opportunity to significantly improve the appearance of the site and how it integrates into this countryside location.

The proposal is therefore considered to be in accordance with policy BE1 (a) of the Local Plan and DM4 of the emerging SADMP.

In order to ensure that the scale of the development remains modest and in keeping with the character of the countryside, a condition is recommended to remove permitted development rights for extensions to the proposed dwellings. This would allow the council to prevent any inappropriate extensions or new buildings when the dwellings become occupied.

Residential Amenity

Policy BE1 (criterion i) of the Local Plan and DM4 of the emerging SADMP seeks to ensure that development not adversely affect the amenity of occupiers of neighbouring properties.

The closest dwelling to the site would be the farmhouse associated with the enterprise located to the north. As a result of the mature hedgerow running along the northern boundary of the site, along with the separation distances and orientation of the new dwellings and the existing farmhouse, there would be no materially harmful impacts in terms of overlooking, overshadowing or overbearing. Furthermore, as the scheme would result in the cessation of an agricultural/commercial enterprise, the proposal raises no concerns in terms of noise and disturbance over. Instead, the development provides the opportunity to significantly improve residential amenity for existing and future residents and this weighs heavily in favour of approving the application.

Affordable Housing

Policy 15 of the Core Strategy states that in rural areas, developments providing more than 4 dwellings or with a site area in excess of 0.13ha should provide 40% affordable housing with a tenure split of 75% social rented and 25% intermediate housing. This would require 4 dwellings for affordable housing.

However, given the somewhat isolated position of the development, as well as the limited provision of facilities and public transport local to the site, it is considered unlikely that there is any demand for affordable housing on site. Therefore, it is considered more appropriate to require a commuted sum in lieu of on site provision, in order to provide affordable housing in a more sustainable location. This is proposed to be secured under a Section 106 Agreement.

Play and Open Space

As the site is in excess of 400 metres from a designated recreation ground, no contribution towards play and open space facilities would be required in this instance.

Highway Safety

Saved Policies T5 and BE1 (criterion g) and NE5 (criterion iv) of the Local Plan seek to ensure a high standard of highway design and vehicle parking standards, as well as adequate highway visibility for road users.

Leicestershire County Council (Highways) initially recommended that the current application be refused, on the basis that the proposal would result in the unacceptable increase in pedestrian and vehicular usage of Sutton Lane. Under the previous application (ref. 14/00286/FUL), approval was only recommended by LCC (Highways) on the basis of the evidence provided within the Vehicle Movement Schedule, which demonstrated that, on balance, the usage of the road to serve the reclamation yard would generate a similar level of traffic for the erection of five dwellings on the site. The ceasing of the reclamation use in that location weighed in favour of approving the application in traffic generation terms.

Since the October Committee meeting, it has become clear that there are no controls over the use of the reclamation business. If the previous scheme were implemented, the traffic generated from the five residential units as well as the reclamation yard would generate additional traffic to the detriment of highway and pedestrian safety. The conflict between commercial vehicles and pedestrians would be a particular concern in highway safety terms.

As this proposal presents the opportunity to cease the reclamation yard, the proposed scheme would be a welcome alternative to the current permission granted for the site. The applicant has agreed to a footpath to be constructed to link the site across land in the same ownership towards the village of Cadeby. This would provide a safer route for pedestrians who otherwise would have to walk along the side of the unlit rural road (Sutton Lane). The provision of the footpath, as well as any associated lighting would be secured by planning condition. The footpath would be expected to be offered for adoption by Leicestershire County Council.

Contamination

Due to the potentially contaminative past uses of the site, Environmental Health (Pollution) has recommended that prior to the commencement of any development, a scheme of investigation of potential land contamination on the site would need to be submitted to and approved by the Local Planning Authority, including details of how any contamination is to be addressed. This is proposed to be secured by condition.

Drainage

Due to the size of the site, in accordance with advice contained within the NPPF, a Flood Risk Assessment is required. This is in the process of being prepared by the applicant. To allow the decision to be issued as quickly as possible, if Members are minded to agree with officers and grant planning permission, delegated powers would be sought to ensure that flooding issues are satisfactorily addressed before the permission is issued.

Notwithstanding the above, Severn Trent Water has recommended that prior to the commencement of any development, drainage plans for the disposal of surface water and foul sewage would need to be agreed. A condition securing this forms part of the recommendation.

Other issues

In response to the comments received concerning the potential increase in the population of Cadeby and the detraction from a "small village community", the provision of eight additional dwellings is unlikely to materially alter the size or character of the village to the extent where a refusal on these grounds could be sustained.

Concern has been raised that the development would detract from Cadeby Conservation Area. Given the location of the site, the character of the conservation area would not be harmed.

In regard to the suggestion that the proposal would set a precedent for future development, all applications are considered on their own merits. A decision on this application has no bearing upon the decision that may be made in respect of any other site elsewhere.

In terms of comments received regarding the intentions of the applicant and the previous application for planning permission, these are not planning matters and therefore cannot be taken into consideration.

In regard to comments received about the lack of consultation with members of the public, the application process has ensured the consultation with members of the public, which is demonstrated by the level of response from the local community. These views have been fully taken into consideration as part of the assessment of the scheme.

In regard to comments received concerning the suitability of neighbouring settlements for the proposed development as opposed to Cadeby, this is not a planning consideration and therefore cannot be taken into account.

Conclusion

The proposal for the erection of eight new dwellings is contrary to Local Plan policies DM4, NE5 and RES5, and paragraph 55 of the NPPF. However, the benefits of ceasing the use of the site as a reclamation yard provides significant amenity and highway safety benefits that weigh heavily in favour of approving this planning application. The scheme would greatly improve the appearance of the site and would provide a high quality form of development for future residents. On balance, subject to addressing potential flooding issues, planning conditions, and subject to the signing of a S106 agreement, the application is considered to be acceptable.

RECOMMENDATION:- Grant subject to conditions.

Summary of Reasons for Recommendation and Relevant Development Plan Policies :

- 1) The signing of a S106 agreement to secure:
 - a. a contribution for the provision of affordable housing (off-site) in lieu of provision within the development
 - b. an obligation to prevent implementation of planning permission (14/00286/FUL); and
- 2) Delegation to the Chief Planning and Development Officer to agree satisfactory provision for flood risk, including any associated revisions to planning conditions; and
- 3) Planning conditions (substantially in the form listed below).

In dealing with the application, through ongoing negotiation the local planning authority has

worked with the applicant in a positive and proactive manner based on seeking solutions to problems arising in relation to dealing with the planning application.

Conditions:-

- 1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
- 2 The development hereby permitted shall not be carried out otherwise than in complete accordance with the submitted application details as follows: Drgs HMD/PD/0323/01, 0323/02, 0323/03, 0323/04, 0323/05, 0323/06, 0323/07, 0323/08, Site Location Plan (OS Promap), and the submitted Design and Access Statement, received by the Local Planning Authority on 10 April 2015.
- 3 Before first occupation of any dwelling, all equipment and materials in conjunction with the salvage and reclamation yard, as well as all operations on site in association with the business, shall cease.
- 4 Before any development commences, representative samples of the types and colours of materials to be used on the external surfaces of the proposed buildings shall be deposited with and approved in writing by the Local Planning Authority, and the scheme shall be implemented in accordance with those approved materials.
- 5 Before any development commences, full fenestration details (including cross-sectional drawings) illustrating the materials, design and precise position of the window and doors (and frames) shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall only be implemented in accordance with the approved details.
- 6 Before first use of the site, details of any proposed external illumination within the development shall be submitted to and approved in writing. The scheme shall be implemented in accordance with those approved details.
- 7 No development shall take place until full details of both hard and soft landscape works have been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. These details shall include:
 - a) Means of enclosure (for the site and for individual plots)
 - b) Car parking layouts
 - c) Other vehicle and pedestrian access and circulation areas (including the central courtyard)
 - d) Hard surfacing materials
 - e) Minor artefacts and structures (e.g. the central courtyard feature, furniture, play equipment, refuse or other storage units, signs, lighting, etc.)
 - f) Proposed and existing functional services above and below ground (e.g. drainage, pipelines, manholes, supports, etc.)
 - g) Planting plans
 - h) Written specifications
 - i) Schedules of plants, noting species, plant sizes and proposed numbers/densities where appropriate
 - j) Implementation programme
- 8 All changes in ground levels, hard landscaping, planting seeding or turfing shown on the approved landscaping details shall be carried out during the first planting and seeding seasons (October - March inclusive) following the commencement of the

development. Any trees or shrubs which, within a period of 5 years of being planted die are removed or seriously damaged or diseased shall be replaced in the next planting season with others of a similar size and species.

- 9 The development hereby permitted shall not commence until drainage plans for the disposal of surface water and foul sewage have been submitted to and approved by the Local Planning Authority. The scheme shall be implemented in accordance with the approved details before development is first brought into use.
- 10 The development shall be in complete accordance with the conclusions and recommendations within the Ecology Survey Ref: WCL/ES/130920 dated 25 September 2013.
- 11 No development shall take place until a scheme that makes provision for waste and recycling storage and collection across the site has been submitted to and approved in writing to the Local Planning Authority. The details should address accessibility to storage facilities and adequate collection points and space at the adopted highway boundary.
- 12 The dwellings hereby approved shall not be extended, altered, or subject to development within the individual residential curtilages, under Schedule 2 Part 1 (Classes A, B, C, D, E, F and G) of the Town and Country Planning (General Permitted Development) (England) Order 2015 without the grant of planning permission for such extensions by the Local Planning Authority.
- 13 Before first use of the development hereby permitted, a visibility splay of 2.4 metres by 47 metres shall be provided at the junction of the access with Sutton Lane. These shall be in accordance with the standards contained in the current County Council design guide and shall be maintained in perpetuity.
- 14 Before first occupation of any dwelling, its access drive and any turning space shall be surfaced with tarmac, concrete or similar hard bound permeable material (not loose aggregate) for a distance of at least 5 metres behind the highway boundary and shall be so maintained at all times.
- 15 No development approved by this permission shall be commenced until a scheme for the investigation for any potential land contamination on the site has been submitted to and agreed in writing by the Local Planning Authority which shall include details of how any contamination shall be dealt with. The approved scheme shall be implemented in accordance with the agreed details and any remediation works so approved shall be carried out prior to the site first being occupied.
- 16 If during development, contamination not previously identified is found to be present at the site, no further development shall take place until an addendum to the scheme for the investigation for all potential land contamination is submitted to and approved in writing by the Local Planning Authority which shall include details of how the unsuspected contamination shall be dealt with. Any remediation works so approved shall be carried out prior to the site first being occupied.
- 17 No development shall commence on the site until such time as a construction traffic/site traffic management plan, including wheel cleaning facilities, vehicle parking and turning facilities, and a timetable for their provision, has been submitted to and approved in writing by the local planning authority. The development shall thereafter be carried out in accordance with the approved details.

- 18 Should the demolition of buildings on site take place after the bat survey season in 2016, an updated ecology survey will be required, to national guidelines and by a bat surveyor with an appropriate up-to-date license from Natural England. This survey and any details of mitigation shall be submitted to and approved in writing by the Local Planning Authority prior to the demolition of buildings on site.
- 19 Notwithstanding the details submitted, prior to the commencement of development, a detailed scheme for a pedestrian footpath linking the site to the village of Cadeby, along Sutton Lane, shall be submitted to and approved in writing by, the Local Planning Authority. The scheme shall provide details of the route, gradient, width, materials / design specification, drainage, lighting and maintenance of the footpath. The footpath shall be constructed and made available for public use prior to the first occupation of any of the dwellings on the site.

Reasons:-

- 1 To comply with the requirements of Section 51 of the Planning and Compulsory Purchase Act 2004.
- 2 For the avoidance of doubt and in the interests of proper planning.
- 3 In the interests of the protection of the amenity of residents, and in the interests of visual amenity to accord with Policy BE1 of the Hinckley and Bosworth Local Plan and Policy DM10 of the Site Allocations and Development Management Plan.
- 4 To ensure that the development has a satisfactory appearance and in the interests of visual amenity to accord with Policy BE1 of the Hinckley and Bosworth Local Plan and Policy DM10 of the Site Allocations and Development Management Plan.
- 5 To ensure that the development has a satisfactory appearance and in the interests of visual amenity to accord with Policy BE1 of the Hinckley and Bosworth Local Plan and Policy DM10 of the Site Allocations and Development Management Plan.
- 6 In the interests of amenity to reduce any impact of night time illumination on the character of the area, in accordance with Policy NE5 of the Hinckley and Bosworth Local Plan and Policy DM7 (criterion c) of the Site Allocations and Development Management Plan.
- 7 In the interests of visual amenity to accord with Policy BE1 of the Hinckley and Bosworth Local Plan and Policy DM10 of the Site Allocations and Development Management Plan.
- 8 In the interests of visual amenity to accord with Policy BE1 of the Hinckley and Bosworth Local Plan and Policy DM10 of the Site Allocations and Development Management Plan.
- 9 To ensure that the development is provided with a satisfactory means of drainage as well as to reduce the risk of creating or exacerbating a flooding problem and to minimise the risk of pollution.
- 10 To ensure that satisfactory measures are in place to safeguard protected species in accordance with paragraph 109 of the NPPF.

- 11 In the interests of visual amenity in accordance with Policy BE1 of the Hinckley and Bosworth Local Plan and Policy DM10 of the Site Allocations and Development Management Plan.
- 12 To ensure that the development does not have a detrimental impact on the character of the development in accordance with Policy BE1 of the Hinckley and Bosworth Local Plan and Policy DM10 of the Site Allocations and Development Management Plan.
- 13 To afford adequate visibility at the access/junction to cater for the expected volume of traffic joining the existing highway network and in the interests of general highway safety in accordance with Local Plan Policy T5.
- 14 To reduce the possibility of deleterious material being deposited in the highway (loose stones etc.) in accordance with Policy T5 of the Hinckley and Bosworth Local Plan.
- 15 To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised in accordance with Policy NE2 of the Hinckley and Bosworth Local Plan.
- 16 To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised in accordance with Policy NE2 of the Hinckley and Bosworth Local Plan.
- 17 In the interests of highway safety in accordance with Policy T5 of the Hinckley and Bosworth Local Plan.
- 18 To ensure that satisfactory measures are in place to safeguard protected species in accordance with paragraph 109 of the NPPF.
- 19 In the interests of highway safety in accordance with Policy T5 of the Hinckley and Bosworth Local Plan.

Notes to Applicant:-

- 1 Bats, nesting birds, great crested newts and certain other species are protected by law. If any such species are discovered before or during the works the works must be suspended and the local office of Natural England contacted for advice.
- 2 This permission does not grant approval under the Building Act 1984 and the Building Regulations 2000 (as amended) for which a separate application may be required. You are advised to contact the Building Control Section.
- 3 As from 6 April 2008 this Authority are charging for the discharge of conditions in accordance with revised fee regulations which came into force on that date. Application forms to discharge conditions and further information can be found on the planning portal web site www.planningportal.gov.uk.
- 4 All works within the limits of the Highway with regard to the access shall be carried out to the satisfaction of the Southern Area Manager (0116 3052202).

Contact Officer:- Sarinah Farooq Ext 5603

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Reference: 15/00867/HOU

Applicant: Mr Daniel Cliff

Location: 223 Markfield Road Groby Leicester

Proposal: Erection of garage/shed and 4 bay dog kennel (retrospective)

RECOMMENDATION:- Grant subject to conditions.

Introduction:-

This application is to be considered at Planning Committee in accordance with the Scheme of Delegation, as Cllr Cartwright has requested that a decision be made by Planning Committee so that members can consider the impact of the development on neighbouring properties.

Application Proposal

This application is a retrospective application for the erection of a garage and a four bay dog kennel to the rear of the garden.

The garage is located within the rear garden of 223 Markfield Road, along the south eastern boundary and measures 10.4 metres in length and has an eaves height of 2.5 metres and a ridge height of 3.2 metres. Due to the garage siting on a slight angle the distance from the neighbouring boundary (No 221 Markfield Road) differs between 0.9 metres and 2.6 metres. The garage has been constructed out of concrete blocks with PVC coated steel sheets as the roof.

The dog kennel is located within the southern corner of the rear garden and is a four bay kennel block which measures 8 metres in length and has an eaves height of 2.2 metres and a ridge height of 2.6 metres. At its furthest distance the kennel is 1.1 metres away from the neighbouring boundary. The dog kennel has been constructed with a timber frame.

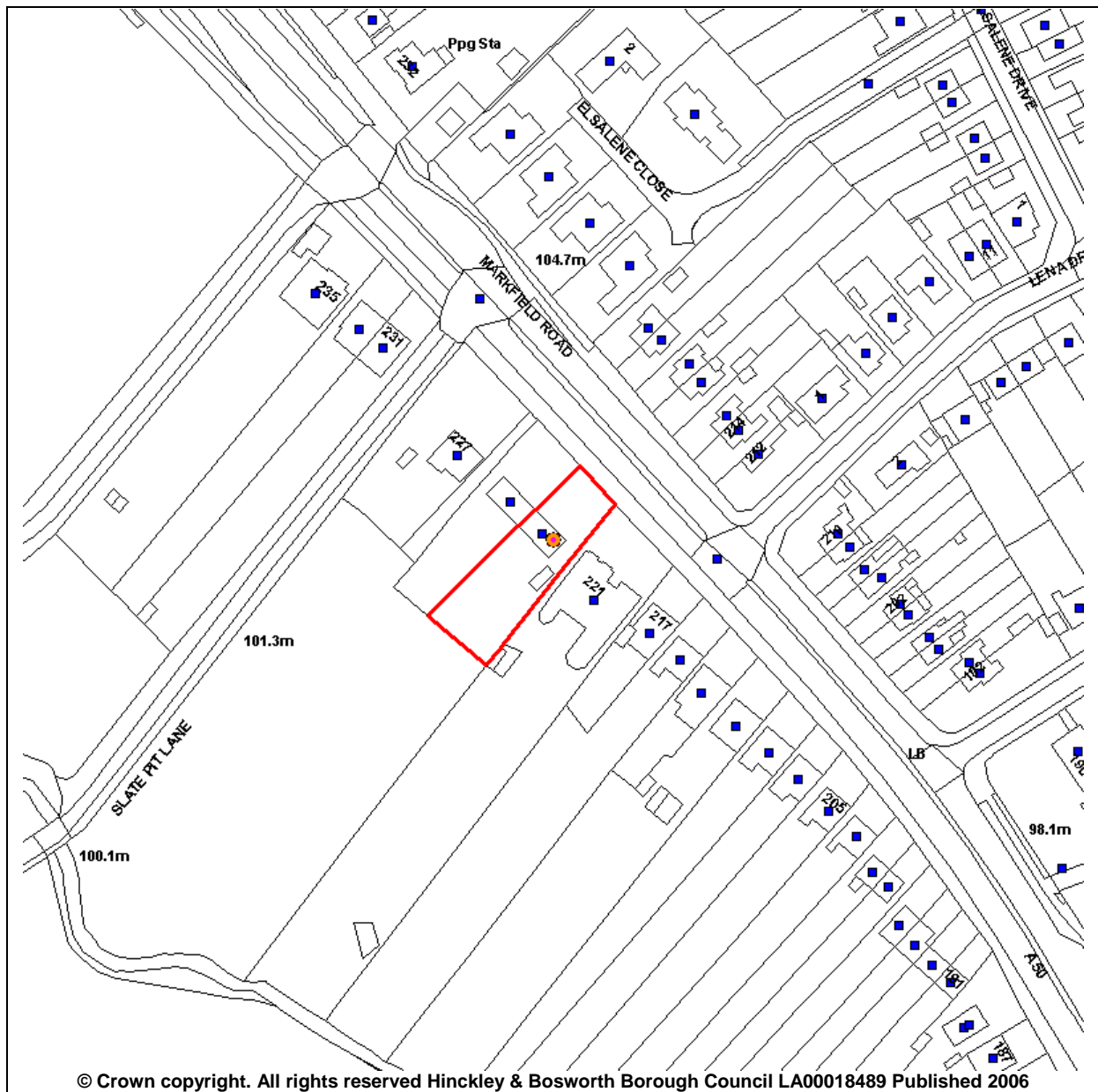
The Site and Surrounding Area

The application site is located within the settlement boundary of Bradgate Hill.

The application property is a semi detached property with a large rear garden. The neighbouring properties are No. 221 (South East) and No. 225 (North West). This stretch of Markfield Road contains a strong building line of properties set back from the road with sizable front gardens. Additionally, all properties are characterised by large elongated rear gardens.

Relevant Planning History

None Relevant



Consultations:-

Neighbours have been notified and no comments have been received

Groby Parish Council have provided no comments.

Policy:-

The National Planning Policy Framework (NPPF) (2012)

Hinckley and Bosworth Local Plan (2001)

Policy BE1: Design and siting of development.

Site Allocations and Development Management Policies (SADMP) (submission document Dec 2014)

Policy DM1: Presumption in Favour of Sustainable Development
Policy DM10: Development and Design.

Supplementary Planning Guidance - House Extensions

Appraisal:-

Main Considerations:-

- The Principle of development
- Impact upon character of area
- Impact upon residential amenity.

The Principle of Development

The proposal is located within the settlement boundary for Bradgate Hill and therefore there is a presumption in favour of sustainable development. The proposal seeks retrospective consent for the erection of a garage and a dog kennels, the proposals are considered acceptable in principle, subject to other material planning considerations.

Impact upon character of area

Policy BE1 of the Local Plan and Policy DM10 of the emerging SADMP require developments to complement or enhance the character of the surrounding area with regard to scale, layout, density, mass, design, materials and architectural features.

The garage and the dog kennels are located within the rear of the garden of 223 Main Street. Due to the single storey nature of the buildings and the positioning in the rear garden, public views of the buildings are limited. It is therefore considered that these buildings do not harm the character of the area or have a detrimental impact to the street scene.

Whilst the views of the garage are limited it will still be visible from some public view points. Currently the garage is constructed from concrete blocks, these materials are not in keeping and are detrimental to the character of the area and therefore a condition is recommended requiring details of cladding to the garage to be agreed in writing

It is therefore considered that the design, form and scale of the proposal would complement the existing character of the dwelling in accordance with Policy BE1 (criterion a) of the Local Plan.

Impact upon residential amenity

Policy BE1 (criterion i) of the Local Plan states that proposals must not have a detrimental impact upon the amenities of neighbouring properties. The adjacent properties are No. 221 and 227 Markfield Road.

The four bay dog kennel is positioned within the southern corner of the garden 1.1 metres from the boundary with 221 Markfield Road. The kennel has been positioned within a location furthest away from any residential properties. Due to the single storey nature this building does not have any overbearing impact or loss of light to the rear garden of No. 221. Due to the structure housing animals there will be some noise associated with this but due to the small scale nature of the kennel with only four bays the noise would not be considered significant or detrimental to neighbouring residential amenity.

The garage is located along the south eastern boundary, approximately 5 metres south of the existing dwelling. The garage is positioned on an angle and moves away from the neighbouring boundary. The front of the garage is 0.9 metres from the neighbouring boundary and to the rear is 1.1 metres from the neighbouring boundary. Due to the single storey design of the garage and the low pitch of the roof it is considered that the proposal does not have an overbearing impact or loss of light to No. 221 Markfield Road.

It is therefore considered that this application will not have a detrimental impact upon neighbouring amenity, including noise, loss of light, overbearing impact. The application is therefore in accordance with Policy BE1 (criterion i) of the Local Plan and emerging Policy DM10 of the SADMP.

Conclusion

The buildings subject to this application have already been erected. It is considered that the buildings do not have a detrimental impact to the character of the area or residential amenity. The application is therefore considered in accordance with local planning policies and is recommended for approval.

RECOMMENDATION:- Grant subject to conditions.

Summary of Reasons for Recommendation and Relevant Development Plan Policies :

Conditions:-

- 1 The development hereby permitted shall not be carried out otherwise than in complete accordance with submitted application details, as follows: Block Plan (Scale 1:500), Site Location Plan (Scale 1:1250), Kennel, Shed & Garage Floor Plans, Kennel Shed & Garage Elevations, Shed & Garage Elevations, received by the Local Planning Authority on the 5 August 2015.
- 2 Within two months of the date of this decision a scheme for the external cladding of the garage hereby approved and include a timetable of for its implementation shall have been submitted to and approved in writing by the Local Planning Authority. The scheme shall be implemented in accordance with the approved details.

Reasons:-

- 1 For the avoidance of doubt and in the interests of proper planning.
- 2 In the interests of visual amenity, to accord with Saved Policy BE1(criterion a) of the adopted Hinckley and Bosworth Local Plan 2001 and emerging Policy DM10 of the SADMP (submission document December 2014).

Notes to Applicant:-

- 1 Bats, nesting birds, great crested newts and certain other species are protected by law. If any such species are discovered before or during the works the works must be suspended and the local office of Natural England contacted for advice.
- 2 This permission does not grant approval under the Building Act 1984 and the Building Regulations 2000 (as amended) for which a separate application may be required. You are advised to contact the Building Control Section.

- 3 As from 6 April 2008 this Authority are charging for the discharge of conditions in accordance with revised fee regulations which came into force on that date. Application forms to discharge conditions and further information can be found on the planning portal web site www.planningportal.gov.uk.
- 4 All works within the limits of the Highway with regard to the access shall be carried out to the satisfaction of the Southern Area Manager (0116 3052202).

Contact Officer:- Craig Allison Ext 5700

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Reference: 15/00920/HOU

Applicant: Mr & Mrs Sandrovitch

Location: 2 Church Road Peckleton Leicester

Proposal: Raising of roof, erection of first floor and insertion of dormer windows to front

RECOMMENDATION:- Grant subject to conditions.

Introduction:-

The application has attracted interest from occupiers of five or more addresses (including the Parish Council), the views of which are contrary to the officer recommendation.

Application Proposal

This application seeks full planning permission to raise the height of the roof from 4.6 metres to 7.9 metres to allow the insertion of a first floor to provide an additional two en-suite bedrooms and a study. The height of the eaves of the dwelling would increase from 2.5 metres to 2.8 metres, resulting in a steeply dual pitched roof.

Three dormer windows are proposed to the front elevation and one obscure glazed window is proposed to each side elevation. Amended plans were received to address officer concerns in respect of privacy from the originally proposed dormer windows to the rear elevation. As a result, four velux windows are proposed to the rear elevation.

The Site and Surrounding Area

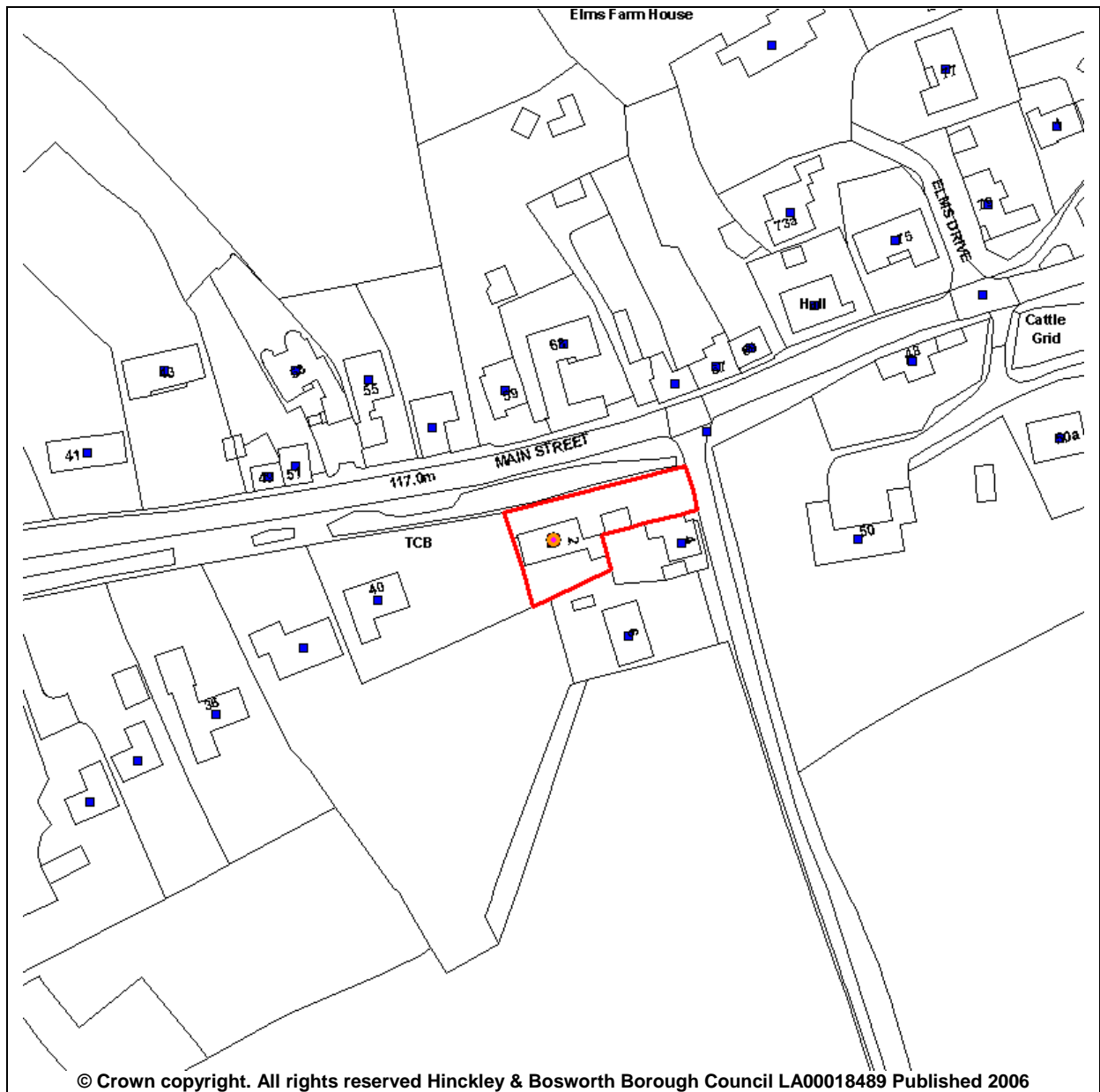
The dwelling comprises of a detached bungalow sited on the corner of Church Road and Main Street within the settlement of Peckleton. The dwelling is constructed of brown brick with white render, brown concrete roof tiles and UPVC windows and doors. Located approximately 0.55 metres to the north east of the dwelling lies a detached single storey garage.

The application site is set prominently on an embankment adjacent to Main Street with no boundary treatment. To the side (west) of the application site, the curtilage is defined by a 1.8 metre high boundary fence with a high tree line. At the rear of the application site, the curtilage is defined by a part 1 metre and part 1.8 metre high boundary fence.

The surrounding area consists of a range of detached dwellings both single storey and two storey in nature. Two other properties are located immediately adjacent to the application site, one a two storey property and one a bungalow. The properties located opposite the application site on Main Street consist of a mix of two storey and one and a half storey properties.

Relevant Planning History:-

89/00857/4	Alterations and extensions to existing Residence	Approved	22.08.1989
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Consultations:-

An objection has been received from Peckleton Parish Council in respect of:-

- Overlooking upon the surrounding properties
- Out of character with area
- Privacy upon the neighbouring properties.

Neighbours were notified and objections were received from 4 different addresses raising the following issues:-

- Impact upon privacy
- Overlooking
- Out of character with the existing properties
- Loss of light
- Height of the proposal in relation to the neighbouring properties
- The property value of neighbouring properties.

Policy:-

National Planning Policy Framework (NPPF) 2012

Hinckley and Bosworth Local Plan 2001

Policy BE1 - Design and Siting of the Development

Policy T5 - Highway Design and Vehicle Parking Standards.

Emerging Site Allocations and Development Management Policies (DPD) (SADMP)

Policy DM10 - Development and Design

Policy DM18 - Vehicle Parking Standards

Supplementary Planning Guidance: House Extensions Design Guidance (SPG)

Appraisal:-

The main considerations are:-

- The impact on the character and appearance of the area.
- The amenities of the occupiers of neighbouring properties.
- The impact on the provision of parking.

Impact on the character and appearance of the area

Policy BE1 (criterion a) of the Local Plan 2001, Policy DM10 of the Emerging SADMP and SPG on House Extensions requires new development to complement or enhance the character of the surrounding area with regard to scale, layout, density, mass, design, materials and architectural features.

The application site is set on the corner of Church Road and Main Street. The site is elevated from the street level of Main Street; however the site is on the same level as the immediate neighbouring properties 4 and 6 Church Street. The character of the street includes a mixture of single and two storey dwellings. The immediate neighbouring property to the east 4 Church Road is two storeys in height and the neighbouring property to the south 6 Church Road is single storey in height. This mixture of scale and heights continues along Main Street.

The proposal is for an increase in roof height to the existing dwelling from 4.6 metres to 7.9 metres, with the insertion of dormer windows to the front elevation and Velux windows to the rear elevation. These alterations would result in an alteration to the character of the dwelling to a dormer bungalow. It is considered that the height of the proposal is in keeping with the character of the area, due to the mix of dwelling heights along Main Street. Whilst the site is within a higher position to the footpath on Main Street, it does not sit alone and the proportions and height of the dwelling would not be out of keeping with the neighbouring property 4 Church Road.

The insertion of dormer windows to this property would compliment the character of the street as they would be similar in nature to the existing dormer windows of no. 57 and 59 Main Street opposite the application site. The Velux windows proposed to the rear would be visible from Church Street; however it is considered that these would not harm the character of the area, as they would not detract significantly from the design of the roof.

The proposed materials for the walls, roof and windows would match the existing materials of the dwelling and would therefore complement the character of the existing building.

It is therefore considered that whilst the scale and height of the dwelling would be increased, it is considered to complement the character of the existing dwelling and street scene due to the mix of bungalows and two storey dwellings within the area. The proposal is therefore considered to be in accordance with the Policy BE1 (criterion a) of the Local Plan (2001), Policy DM10 of the Emerging SADMP and the SPG on House Extensions.

Impact on the neighbouring properties

Policy BE1 (criterion i) of the Local Plan 2001 and Policy DM10 of the Emerging SADMP states that proposals should not adversely affect the occupiers of the neighbouring properties. The nearest residential properties are 4 Church Road to the east and 6 Church Road to the west.

Amended plans were received to address officer concerns in respect of privacy and overlooking upon no. 4 and 6 Church Road. The proposed rear elevation would include 4 velux windows with a minimum height of 1.8 metres reducing the severity of privacy impacts. Furthermore, two of the proposed windows would serve a non-habitable room (landing).

No. 4 Church Road is a two storey detached dwelling located approximately 11 metres south east of the application site. Due to the siting and orientation of the application dwelling there would be minimal impact upon the residential amenity of no. 4 in regards to privacy and overlooking. There is a proposed window located on the side (east) elevation; however this would be obscured glazed to prevent any impacts upon privacy. A condition is recommended to ensure that the side (east) window at first storey level is obscure glazed and the opening is limited to 30 degrees to avoid overlooking to the neighbouring rear garden. Due to the offset positioning between the application site and no. 4 the impact upon overshadowing and loss of light is considered to be minimal and would not be harmful to the existing residential amenity of no. 4.

No. 6 Church Road is a detached bungalow located approximately 6.5 metres from the proposed rear elevation of the application property. The proposal includes Velux windows to the rear boundary, however the cil height of these windows are to be 1.7 metres, which would be at a height to avoid overlooking into the rear garden of No. 6. Due to the location of the property and the siting of No. 6 the proposal would not result in a loss of light of overbearing impact to existing windows or the rear garden. It is therefore considered that the proposal would not be detrimental to the residential amenity of No 6.

No. 40 Main Street is situated 30 metres to the west of the site and is heavily screened by mature vegetation and trees to the north, east and south. Whilst the application site sits on a higher level than this property it is considered due to the distance and extensive planting the proposal would not have a detrimental impact upon the amenity of No 40.

Whilst the application dwelling sits in a higher position than the properties on the opposite side of the road (Nos 57, 59, 63) there is a minimum distance of over 20 metres and they are separated by a road. Due to this it is considered that the proposal would not harm the residential amenity of these properties.

It is therefore considered that the proposal would not be detrimental to the residential amenity of neighbouring properties and is therefore considered to be in accordance with Policy BE1 (criterion i) of the Local Plan 2001 and Policy DM10 of the Emerging SADMP.

Impact on the provision of parking

Policy BE1 (criterion g) and T5 of the Local Plan 2001 and Policy DM18 of the Emerging SADMP states that proposals ensure that there is adequate provision for on and off street parking for residents and visitors.

The proposal creates the addition of 2 bedrooms, resulting in a 5 bed property. Four parking spaces are provided on site with a further garage space, which exceeds the parking requirements for a five bed roomed property. Therefore the proposal is considered to be in accordance with Policy BE1 (criterion g) and T5 of the Local Plan 2001 and Policy DM18 of the Emerging SADMP.

Other Matters

A comment has been received in respect of the property value of neighbouring properties. However, this point is not a material planning consideration in the determination of this application.

Conclusion

It is considered that the proposed extension would respect the scale and character of the existing dwelling and street scene, retain adequate private amenity within the curtilage and would not adversely effect the amenities of the occupiers of neighbouring properties. The application is considered to be in accordance with Policies BE1 (a, i and g) and T5 of the Local Plan 2001, Policy DM10 and DM18 of the Emerging SADMP and the SPG on House Extensions and is therefore recommended for approval subject to conditions.

RECOMMENDATION:- Grant subject to conditions.

Summary of Reasons for Recommendation and Relevant Development Plan Policies :

Conditions:-

- 1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
- 2 The development hereby permitted shall not be carried out otherwise than in complete accordance with the submitted application details, as follows: Proposed Floor Plans and Elevation drg no. 15/0125 05 Rev 02 at a scale of 1:50 received 09 October 2015, Proposed Elevations drg no. 15/0125 04 Rev 02 received 09 October 2015.
- 3 The materials to be used on the external elevations of the proposed extension and alteration shall match the corresponding materials of the existing dwelling.
- 4 Notwithstanding the provisions of Article 3, Schedule 2, Part 1 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), the window in the first floor side (eastern) elevation shall be obscure glazed and its opening shall be restricted to 30 degrees before the development hereby permitted is first occupied and shall thereafter be permanently retained in this approved form.

Reasons:-

- 1 To comply with the requirements of Section 51 of the Planning and Compulsory Purchase Act 2004.
- 2 For the avoidance of doubt and in the interests of proper planning.

- 3 To ensure that the development has a satisfactory external appearance to accord with Policy BE1 (criterion a) of the adopted Hinckley and Bosworth Local Plan 2001.
- 4 To ensure the development does not have a detrimental impact upon neighbouring residential amenity to accord with Policy BE1 (criterion i) of the Hinckley and Bosworth Local Plan 2001 and emerging Policy DM10 of the Site Allocations and Development Management Policies DPD.

Notes to Applicant:-

- 1 Bats, nesting birds, great crested newts and certain other species are protected by law. If any such species are discovered before or during the works the works must be suspended and the local office of Natural England contacted for advice.
- 2 This permission does not grant approval under the Building Act 1984 and the Building Regulations 2000 (as amended) for which a separate application may be required. You are advised to contact the Building Control Section.
- 3 As from 6 April 2008 this Authority are charging for the discharge of conditions in accordance with revised fee regulations which came into force on that date. Application forms to discharge conditions and further information can be found on the planning portal web site www.planningportal.gov.uk.
- 4 All works within the limits of the Highway with regard to the access shall be carried out to the satisfaction of the Southern Area Manager (0116 3052202).

Contact Officer:- Andrew Cunningham Ext 5666

Reference: 15/00927/FUL

Applicant: Mr J Smith

Location: The Poplars Watling Street Hinckley

Proposal: Erection of three dwellings and associated access and car parking.
Replacement pitched roof to the flat roof extension of The Poplars

RECOMMENDATION:- Grant subject to conditions.

Introduction:-

This application is to be considered by Planning Committee as the application has been called in by Councillor Bill, to give Members the opportunity to consider concerns raised by local residents.

Application Proposal

This application seeks planning permission for the erection of three residential units within the substantial residential curtilage of The Poplars. The existing dwelling would be retained with a smaller garden.

The existing access to The Poplars would be used to serve the site. This would be widened, with an access road leading off it serving the proposed bungalows to the rear. The proposal also includes the addition of a pitched roof to the flat roof extension of The Poplars.

Off-street car parking would be provided for all dwellings. This would provide two parking spaces per two bedroomed bungalow and three parking spaces for the five bedroomed dwelling. The proposal includes an area of hardstanding in front of the existing property to allow for parking for at least three vehicles.

This application is a revised scheme following outline approval, which included access and layout, for three dwellings on site ref: 13/00556/OUT. The proposed layout for this application is similar to the approved layout for the outline application.

The Site and Surrounding Area

The site is approximately 0.18 hectares and comprises the residential curtilage of the dwelling known as The Poplars. Currently the site is undeveloped and unused. A close boarded boundary fence surrounds all boundaries of the site.

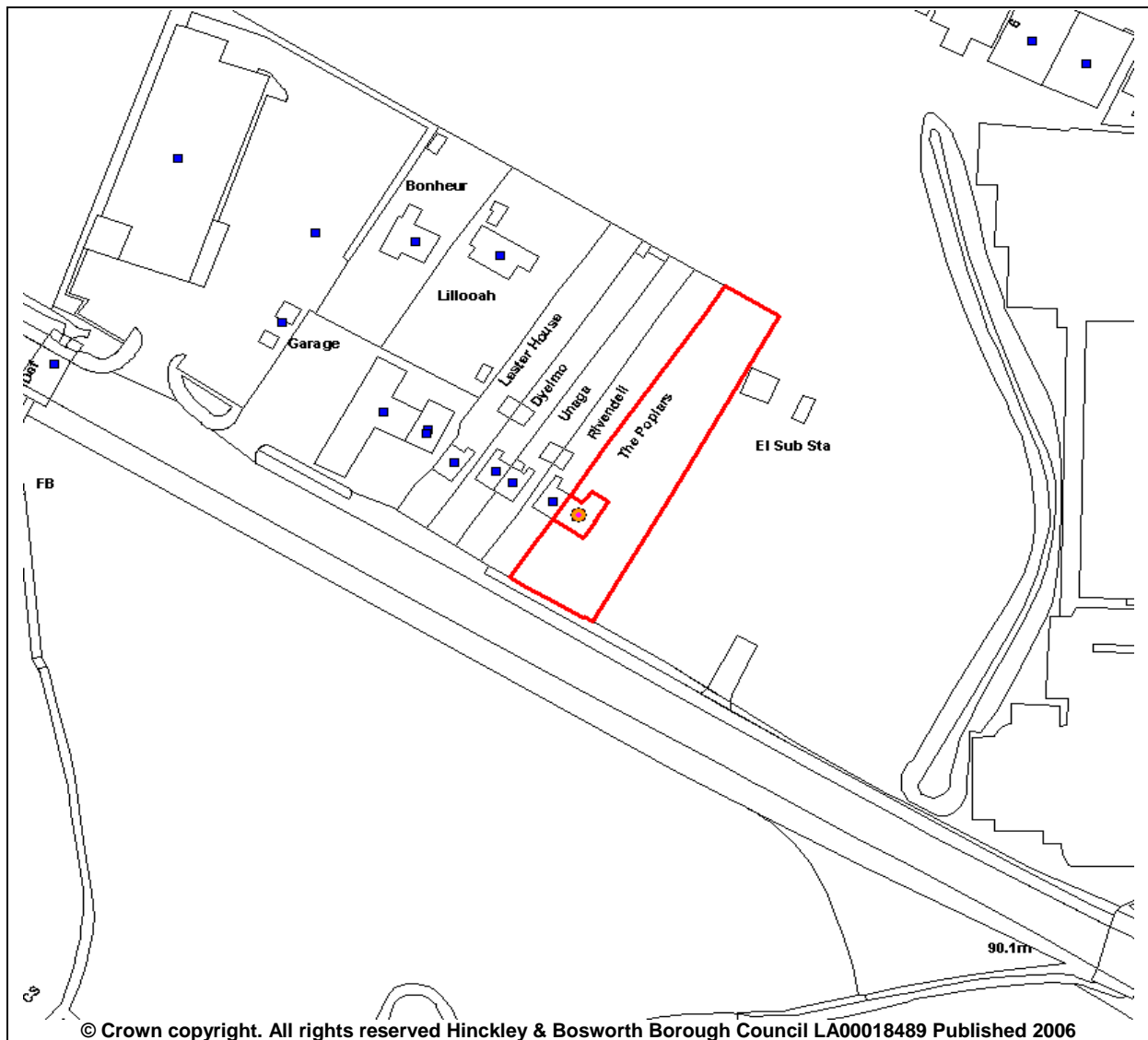
To the north of the site are open fields and to the east is a parcel of grassland. Further east of this is a commercial development. To the west of the site are a further six residential properties and a petrol station. The site is bound by mature landscaping to all the boundaries and fencing between the common boundary between the application property and its neighbour Rivendell.

The site is located on the northern side of Watling Street; with the town centre of Hinckley to the East. The site falls within the settlement boundary of Hinckley, as defined by the adopted Hinckley and Bosworth Local Plan proposals map (2001).

During the course of considering the application, an amended plan has been submitted which seeks to alleviate concerns raised in relation to the insufficient size of the rear garden of The Poplars, removal of a dormer window to the front elevation and the reduction of hardstanding to the front of plots 2 and 3 to the rear.

Relevant Planning History:-

14/00349/OUT	Erection of one dwelling and four mobile homes (outline - access and layout only)	Refused Appeal Dismissed	23.07.14
13/00556/OUT	Erection of three dwellings (outline - access and layout only)	Approved	12.09.13
11/00693/FUL	Change of use of land for the provision of four mobile homes	Refused	17.11.11
10/00710/OUT	Erection of one dwelling (outline-access only)	Approved	11.10.10



Consultations:-

No objection has been received from:-

Highways England - subject to conditions
Severn Trent Water - suggest informative.

4 letters of objection have been received raising the following concerns:-

- Impact upon residential amenity, including noise and light pollution and security fears
- Concerns with the development becoming a travellers site, using rear gardens to house caravans
- Five bedroomed dwelling only has one bathroom
- Concrete and tarmac frontage, other properties have green planted front gardens
- Would have a detrimental impact upon the landscape
- Overdevelopment of the site
- Open plan site, concerns there will be no boundaries for the rear gardens
- Existing garden is only given a small rear garden
- Bungalows to rear are aligned vertically and should be aligned horizontally in keeping with the existing properties
- Devaluation of neighbouring properties
- Safety concerns and impact upon the A5 with additional traffic entering and exiting the site.

Policy:-

The National Planning Policy Framework (NPPF) March 2012

The Community Infrastructure Levy (CIL) Regulations 2010

Core Strategy 2009

Policy 1: Development in Hinckley

Policy 16: Housing Density, Mix and Design

Policy 19: Green Space and Play Provision

Policy 24: Sustainable Design and Technology.

Hinckley and Bosworth Local Plan 2001

Policy IMP1: Contributions Towards the Provision of Infrastructure and Facilities

Policy RES5: Residential Proposals on Unallocated Sites

Policy BE1: Design and Siting of Development

Policy REC3: New Residential Development - Outdoor Play Space for Children

Policy T5: Highway Design and Vehicle Parking Standards.

Site Allocations and Development Management Policies (SADMP) (submission document Dec 2014)

Policy DM1: Presumption in favour of Sustainable Development

Policy DM10: Development and Design

Policy DM17: Highway Design

Policy DM18: Vehicle Parking Standards

Supplementary Planning Guidance/Documents

Play and Open Space (SPD)
New Residential Development (SPG)

Appraisal:-

The main considerations in the determination of this application are:-

- Principle of development
- Impact upon the character of the area
- Impact upon neighbouring amenity
- Impact upon the highway
- Play and open space contributions
- Other Matters.

Principle of Development

Paragraph 11 - 13 of the National Planning Policy Framework (NPPF) and emerging Policy DM1 of the SADMP states that the development plan is the starting point for decision taking and that it is a material consideration in determining applications. The development plan in this instance consists of the Core Strategy (2009) and the saved policies of the Local Plan (2001).

The site is located within the settlement boundary of Hinckley, as defined on the adopted Hinckley and Bosworth Local Plan proposals map and therefore there is a presumption in favour of development subject to all other planning matters being appropriately addressed.

The principle of residential development for three dwellings on site has already been established through the granting of planning permission reference 13/00556/OUT and therefore residential development is acceptable, subject to all other relevant material considerations.

Impact upon the character of the area

Policy BE1 (criterion a) of the Local Plan and emerging Policy DM10 of the SADMP requires development to complement or enhance the character of the surrounding area with regard to scale, layout and design.

The layout of the proposal is generally consistent to that of the approved outline planning permission ref: 13/00556/OUT although slight minor amendments have been made including the removal of the proposed garage and alignment of the dwellings to the rear of the site.

The proposal would introduce a new dwelling (Plot 1) to the frontage of the site along Watling Street (A5). It is designed to be in keeping with the existing dwelling on site and those to the west and follows the existing building line. The roof design matches that of the existing properties with a chimney. The projecting gable adds some interest to the design of the building and a lean to porch. It is therefore considered this addition to the street scene would not detract from the character of the area and is acceptable.

Concerns have been raised by local residents about the design and orientation of the bungalows to the rear of the site. The bungalows are simple in their design, however include features such as a chimney, porch, and window lintel details. It would not be appropriate for the bungalows to match the design of the existing dwellings due to the differences in scale

and height and because they are seen in a different context. The bungalows would be visible from the wider area and it is considered that these would not be dominating due to their single storey height and their careful design. It is therefore considered that the proposed bungalows to Plots 2 and 3 would not be detrimental to the character or the area.

Slight amendments have been made to provide a larger garden for the existing dwelling (The Poplars). This has resulted in the scheme providing larger rear gardens for both the existing and proposed dwellings. Concerns have been raised by residents that these rear gardens would be open and available to use for caravan parking as there is no written indication of fencing on the submitted plans. Fencing would be appropriate to these boundaries to provide privacy to rear gardens and to provide boundaries to each dwelling and it is proposed that this be secured by a condition requiring details of boundary treatments to the site. Additionally concerns have been raised by residents about the amount of hardstanding in front of properties for parking and the turning head to the rear of the site. Whilst the turning head and parking areas are necessary these can be softened by appropriate landscaping. This arrangement would not have a detrimental impact to the character of the area. A condition is recommended which would require details of hard and soft landscaping including boundary treatments prior to the commencement of development to ensure the character of the development is acceptable.

The addition of a pitched roof to the existing flat roof extension of The Poplars would be an improvement to the existing design and would improve the character of the area.

Accordingly it is considered that the proposed development in respect of its design, scale and layout is acceptable and in keeping with the character of the area and therefore is in accordance with saved Policy BE1 (criterion a) of the Local Plan (2001) and emerging Policy DM10 of the SADMP.

Impact upon neighbouring amenity

Policy BE1 (criterion i) of the adopted Local Plan and SPG and emerging Policy DM10 of the SADMP require that development does not adversely affect the amenities or privacy of the occupiers of neighbouring properties. The nearest residential property to the proposal is Rivendell to the north west.

The Council's SPD on New Residential Development recommends a minimum distance of 25 metres between habitable windows when either at the front or rear of the dwelling. The distance between the existing and proposed plot 1 to the bungalows at the rear (Plots 2 and 3) are more than 37 metres, which is in excess of the required separation distances. Additionally due to the single storey nature of the bungalows it is not considered that these would cause overlooking issues or an over bearing impact/loss of light to Rivendell or The Poplars and proposed plot 1.

Plot 1 is situated to the side (east) of the existing property and follows the same building line. This is a two and a half storey property which is in keeping in scale and height to the existing dwellings. It would not significantly protrude further than the existing building line and therefore would have a detrimental effect upon overlooking, loss of light and/or over bearing impact to existing residents.

Concerns have been raised about potential noise from vehicles accessing the bungalows to the rear. The vehicle movements are unlikely to be significant due to the small number of dwellings to the rear. The access road is positioned away from the neighbouring property, which reduces the noise disturbance to the neighbouring property. Parking for Plot 3 is proposed alongside the boundary to Rivendell. However the movements for these bungalows would not be significant and therefore the noise impacts would be minimal. Whilst there may

be a slight increase in noise whilst a car is parking and leaving the site this would not be significant and detrimental to residential amenity and is therefore acceptable.

The proposal would not have a detrimental impact upon residential amenity and accords with Saved Policy BE1 (criterion i) of the adopted Hinckley and Bosworth Local Plan 2001 and emerging Policy DM10 of the SADMP.

Impact upon the highway

Policy T5 of the saved Local Plan (2001) ensures developments are in accordance with the adopted highway guidance and parking standards. Emerging Policy DM17 and DM18 are likely to be subject to Main Modifications following the examination in public hearing sessions for the plan and therefore carry limited weight.

The proposed scheme would facilitate an existing access onto Watling Street (A5), with some amendments to the width. No objections have been received from Highways England. Conditions have been recommended requiring the access, turning areas and parking to be provided prior to occupation and the access to be surfaced in a bound material for a distance of 5 metres from the highway. Both conditions are considered reasonable and necessary to ensure highway safety and minimal impacts upon Watling Street (A5).

The proposed development would provide two parking spaces for each of the two bedroomed bungalows and three parking spaces for the proposed five bedroomed dwelling. Parking would be provided to the front of the existing dwelling for at least three vehicles. This level of provision is in accordance with guidance contained within the 6C's Design Guide and is therefore appropriate.

The scheme would not adversely impact upon the highway network and would not be harmful to highway safety and is therefore in accordance with T5 of the Local Plan (2001).

Play and Open Space Contributions

The net gain in a dwelling requires a financial contribution towards play and open space as set out in Policy REC3 of the Local Plan. In this instance, there is no existing open space within 400 metres of the site and as such a contribution cannot be requested under the terms of the policy. This approach is consistent with the previous outline application ref: 13/00556/OUT.

Other Matters

Concerns have been raised by residents about the potential for the site to be occupied by Gypsies and travellers, and the storing of mobile homes. This application is for three residential dwellings and therefore must be assessed on its merits. Potential use of the rear gardens and parking areas for the siting of travellers mobile homes cannot be considered as a material planning consideration of this application.

Conclusion

The principle of residential development on the site has been established through the approval of outline planning permission 13/00556/OUT in 2013 which is extant. The design, layout and scale of the development is in keeping with the character of the area, subject to conditions securing further information in respect of landscaping, including boundary treatments. The access and parking provision of the proposal would not have a detrimental impact upon highway safety and is therefore acceptable. Additionally, the proposal is not considered to have a detrimental impact upon existing and proposed residential amenity. It is

therefore considered that this application is in accordance with local planning policies and is recommended for approval.

RECOMMENDATION:- Grant subject to conditions.

Summary of Reasons for Recommendation and Relevant Development Plan Policies :

Conditions:-

- 1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
- 2 The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans:
 - 13.2879 - Location Plan (received on 19.08.2015)
 - 13.2879.06 B - Detailed Planning Proposals Sheet 1 of 3 (received on 12.10.2015)
 - 13.2879.07 B - Detailed Planning Proposals Sheet 2 of 3 (received on 12.10.2015)
 - 13.2879.08 - Detailed Planning Proposals Sheet 3 of 3 (received on 19.08.2015)
- 3 No development shall take place until a scheme of hard and soft landscaping works, including boundary treatments, for the site has been submitted to and approved in writing by the local planning authority. The scheme shall be carried out in full accordance with the approved landscaping scheme.
- 4 All changes in ground levels, hard landscaping, planting seeding or turfing shown on the approved landscaping details shall be carried out during the first planting and seeding seasons (October - March inclusive) following the commencement of the development. Any trees or shrubs which, within a period of 5 years of being planted die are removed or seriously damages or diseased shall be replaced in the next planting season with others of a similar size and species.
- 5 The development hereby permitted shall not be occupied until the access drive, vehicular turning areas and parking (for each respective plot) has been provided in accordance with the approved plans. The access, turning and parking shall thereafter be maintained in perpetuity.
- 6 The access driveway shall be surfaced in a bound porous material for a minimum distance of 5 metres from the back edge of the highway and shall be so maintained at all times.

Reasons:-

- 1 To comply with the requirements of Section 19 of the Town and Country Planning Act 1990, as amended by the Planning and Compulsory Purchase Act 2004.
- 2 For the avoidance of doubt and in the interests of proper planning.
- 3 In the interests of visual amenity, to accord with Saved Policy BE1(criterion a) of the adopted Hinckley and Bosworth Local Plan 2001 and emerging Policy DM10 of the SADMP (submission document December 2014).
- 4 In the interests of visual amenity, to accord with Saved Policy BE1(criterion a) of the adopted Hinckley and Bosworth Local Plan 2001 and emerging Policy DM10 of the SADMP (submission document December 2014).

- 5 In the interests of highway safety in accordance with saved Policy T5 of the adopted Hinckley and Bosworth Local Plan (2001).
- 6 In the interests of highway safety in accordance with saved Policy T5 of the adopted Hinckley and Bosworth Local Plan (2001).

Notes to Applicant:-

- 1 Bats, nesting birds, great crested newts and certain other species are protected by law. If any such species are discovered before or during the works the works must be suspended and the local office of Natural England contacted for advice.
- 2 This permission does not grant approval under the Building Act 1984 and the Building Regulations 2000 (as amended) for which a separate application may be required. You are advised to contact the Building Control Section.
- 3 As from 6 April 2008 this Authority are charging for the discharge of conditions in accordance with revised fee regulations which came into force on that date. Application forms to discharge conditions and further information can be found on the planning portal web site www.planningportal.gov.uk.
- 4 All works within the limits of the Highway with regard to the access shall be carried out to the satisfaction of the Southern Area Manager (0116 3052202).

Contact Officer:- Helen Wilson Ext 5691

Reference: 15/00820/FUL

Applicant: Mrs Melanie Brewster

Location: Land North East Of Reservoir Road Thornton

Proposal: Conversion and extension of agricultural building for stables, formation of ménage, improvements to existing access, hard surfaced parking and turning area and change of use of land for the keeping of horses.

RECOMMENDATION:- Grant subject to conditions.

Introduction:-

This application is to be considered by Planning Committee as the application has been called in by Councillor O'Shea, to give Members the opportunity to consider the application.

Application Proposal

This application seeks full planning permission for the conversion and extension of an agricultural building for the use as stables, the formation of a ménage together with improvement to the existing access, hard surfacing and landscaping.

This application is part retrospective as the agricultural building has already been converted to five stables and therefore seeks the retention of this use. The existing building which measures 18.2 metres in length, 9.1 metres in width with a eaves height of 3.65 metres and a ridge height of 4.9metres. The building is located adjacent to the southern boundary of the field approximately 60 metres to the west of Thornton Lane. Additionally the proposal seeks to extend the existing building to the rear (north west) to provide an addition five stables. The extension would be of a similar proportion and design to the existing building, which would be 18.2 metres in length, 9.1 metres in width and a ridge height of 4.9 metres. The proposal would therefore result in a total of 10 stables. The proposed stables will be accessed through the side (north west and south east) elevations.

A ménage is proposed to the north west of the stables, measuring 50 metres in length by 20 metres in width. The proposed stables would open out on to the proposed ménage.

The site has an existing access from Thornton Lane and will be used to serve the proposed development. Amendments to the width, creation of a 7.5 metre radii and the erection of gates 12 metres from the highway boundary are proposed. An area of hardstanding, within the north eastern corner of the site, has been created on site to provide parking, and sufficient turning space for commercial horse transporters and this application seeks retrospective permission for this.

Site and Surrounding

The application site comprises two grassed fields measuring a total of approximately 3.48 hectares (8.6 acres). The site is located within the countryside to the south east of Thornton, north east of Reservoir Road and west of Thornton Lane/Whittington Lane.

The site contains a large agricultural building (erected under the GDO prior notification procedure), which is constructed of concrete block work, timber boarding walls and cement

sheet roof panels. A steel storage container is situated to the east of the agricultural building. This building has been converted to stables with associated equestrian storage.

An extensive area of hardstanding (brick rubble etc.) has been laid along with a rectangular concrete base within the eastern part site.

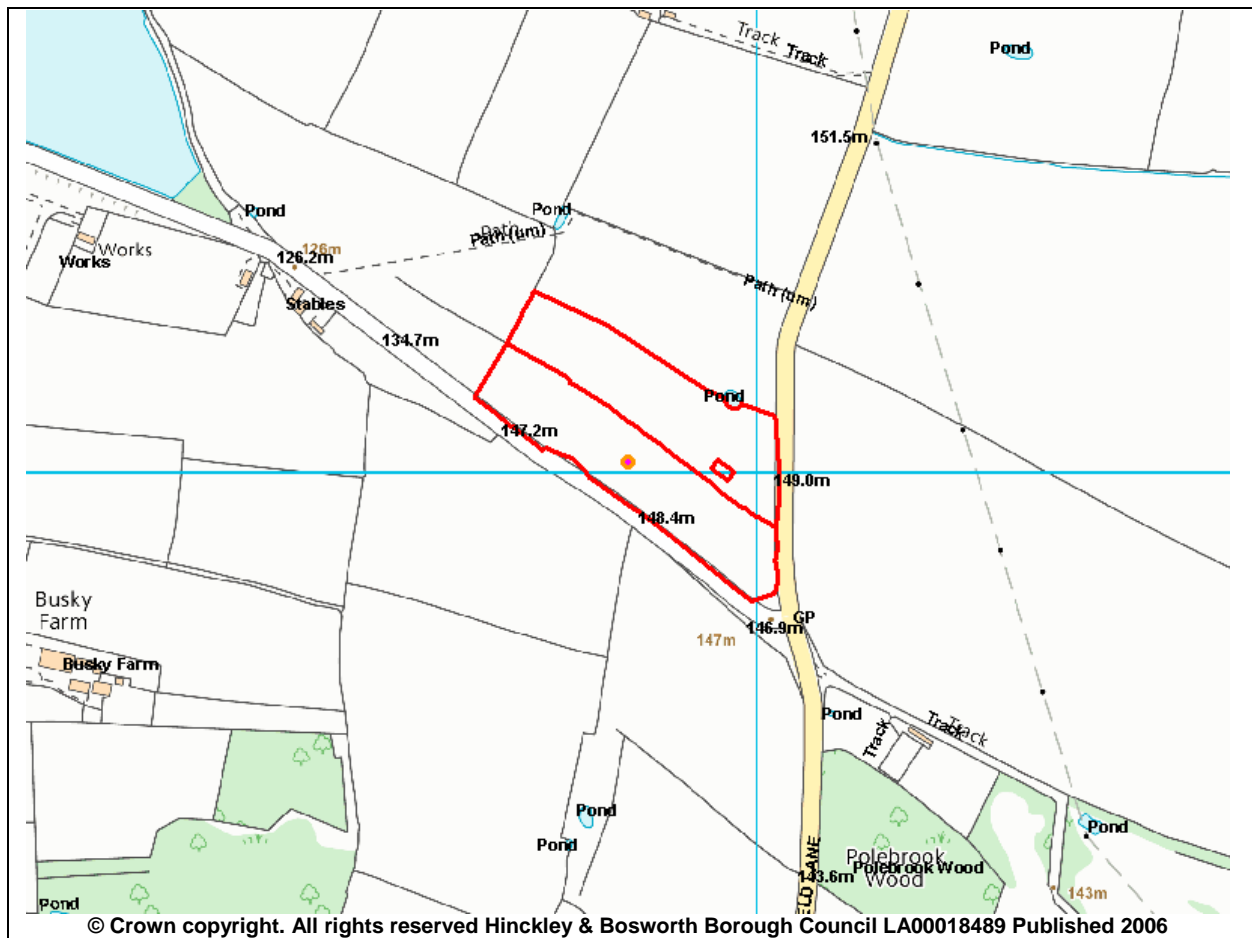
The east and south west boundaries of the application site are defined by field hedgerows and the north east boundary by a post and wire fence. The hedgerow fronting Thornton Lane/Whittington Lane to the east is identified as a Site of Importance to Nature Conservation (SINC). Land levels fall to the North West towards Thornton Reservoir.

Technical Documents submitted with the Application

Details of the business turnover and workings

Relevant Planning History:-

15/00375/FUL	Siting of a mobile home	Refused	22.05.15
15/00374/FUL	Creation of an equestrian ménage	Application returned	15.07.15
15/00373/FUL	Extensions and alterations to stable block Application returned		15.07.15
12/00095/FUL	Proposed access road to serve stable block and agricultural barn	Withdrawn	23.03.15
10/00811/FUL	Erection of four stables and feed/tack room	Approved	05.01.11
09/00986/GDO	Erection of agricultural building to keep livestock	GDO	27.01.10



Consultations:-

No objection subject to condition received from:-

- Leicestershire County Council (Highways)
- Environmental Health (Pollution)
- Environmental Health (Drainage).

Bagworth and Thornton Parish Council have raised objections on the following grounds:-

- a) Site is outside the settlement boundary and within the National Forest
- b) Site is in open countryside and unsuitable for any inappropriate development
- c) The development would have an adverse visual impact and intrusion in the countryside, lack of screening to site
- d) The proposal would add to light pollution in open countryside
- e) There is no provision for foul/surface water drainage creates public health hazard
- f) Site run off/leachate would drain to Thornton Reservoir (a water supply for Severn Trent)
- g) There has been a disregard for planning control, as building materials deposited and hardstanding formed within the site without planning permission
- h) There has been no special justification for the proposal.
- i) The scheme would result in a highway safety issue, with slow turning vehicles pulling out onto a fast road, in close proximity to a junction.
- j) There would be an adverse impact on nearby sites of special scientific interest, protected species and their habitat
- k) The application form is misleading and inaccurate.

Neighbours notified and site notice displayed and no representations received

Policy:-

National Planning Policy Guidance (NPPG) 2014

National Planning Policy Framework (NPPF) 2012

Core Strategy (2009)

Policy 21: National Forest.

Hinckley and Bosworth Local Plan 2001

Policy NE5: Development in the Countryside

Policy BE1: Design and Siting of Development

Policy T5: Highway Design and Vehicle Parking Standards.

Site Allocations and Development Management (SADMP) (submission document Dec 2014)

Policy DM1: Presumption in favour of Sustainable Development

Policy DM4: Safeguarding the Countryside and Settlement Separation

Policy DM10: Development and Design

Policy DM17: Highway Design.

Supplementary Planning Guidance

Design of Farm Buildings (SPG).

Appraisal:-

The main considerations in the determination of this application are:-

- The Principle of Development
- Impact on the Character and Appearance of the Countryside
- Highway safety
- Other issues

The Principle of Development

Paragraph 11 - 13 of the National Planning Policy Framework (NPPF) and emerging Policy DM1 of the SADMP states that the development plan is the starting point for decision taking and that it is a material consideration in determining applications. The development plan in this instance consists of the Core Strategy (2009) and the saved policies of the Local Plan (2001).

The site is located outside the settlement boundary of Thornton as defined in the adopted Hinckley and Bosworth Local Plan Proposals Map. The National Planning Policy Framework (NPPF) seeks to protect the countryside whilst allowing for sustainable development where appropriate. Paragraph 28 of the NPPF supports the development of agricultural business in order to promote a strong rural economy. Furthermore, Policy NE5 of the Local Plan and Policy DM4 of the SADMP apply which seeks to safeguard the countryside from inappropriate development. Policy DM4 seeks to support development in the countryside which is for outdoor sport or recreation purposes, or would involve the change of use, re-use

or extension of existing buildings which lead to an enhancement of the immediate setting or where a proposal would contribute to economic growth, job creation and/or diversification of rural business.

The site has a history of planning permissions granting consent for both prior approvals for agricultural buildings and for stables on site and therefore indicates that equestrian use has been accepted in principle on this site. However, the permission for four stables and a feed/tack room (application ref: 10/00811/FUL) was not implemented and has now lapsed and the existing agricultural building no longer benefits from planning consent due to its change of use.

Supporting information has been submitted by the applicant providing details of the profitable business associated with the proposals. This states that the building is required for the benefit of a professional show jumper who is currently based in Congerstone and is required to relocate the existing business, due to the redevelopment of the land they currently reside on. It is indicated that the proposal would allow for the stabling of 10 adult horses and will also allow breeding of high quality foals produced for show jumping stock via a breeding programme, which is carried out by artificial insemination. The business is proposed to support both existing local business in addition to UK import and exports for domestic and internal markets. The proposed stables would enable horses to maintain a healthy condition throughout the year particularly in winter months and ensure mares to have able to foal in a safe and controlled environment.

The need for the proposed development has been adequately justified in accordance with the NPPF, Policy NE5 of the Local Plan and DM4 of the SADMP. Therefore, the principle of development is acceptable, subject to all other relevant material considerations.

Impact on the Character and Appearance of the Countryside

Policy 21 of the adopted Core Strategy requires that the siting and scale of development within the National Forest is appropriately related to its setting and respects the character and appearance of the wider countryside.

The design criteria of Saved Policy NE5 (i,ii and iii) requires that development in the countryside does not have an adverse impact on the character or appearance of the landscape, is in keeping with the scale and character of existing buildings and general surroundings, is effectively screened by landscaping. Policy DM4 of the SADMP also seeks to ensure that development within the countryside does not have an adverse effect on the intrinsic value, beauty or open character of the countryside. Saved Policy BE1 (criteria a, c and d) of the Local Plan and Policy DM10 (criteria c, d, e, f, g and h) of the SADMP requires that development complements or enhances the character of the surrounding area with regard to scale, layout, design, materials, and incorporates landscaping to a high standard.

One of the core planning principles of the NPPF in paragraph 17 is to seek a high quality of design and protect the intrinsic character and beauty of the countryside. Paragraphs 56 and 58 of the NPPF identify good design as a key aspect of sustainable development and seek to ensure that development is visually attractive.

The existing building situated on the land is to remain, and extended to accommodate 10 stables with tack and storage rooms, the proposed building would measure 36.4 metres in length, 9.1 metres wide with a ridge height of 4.8 metres and eaves height of 3.6 metres. The stables would reuse the existing agricultural building extending to the north west following the existing hedgerow boundary which separates the two agricultural fields.

The stables would be set well back from highway, approximately 62 metres west of the highway, where it would be partly screened from the surrounding landscape by existing field boundary hedgerows, and positioned adjacent to the natural field boundary and ditch which is situated to the south west. Whilst the stable building would be visible, it is set back from the highway and would not dominate the street scene. A public right of way is situated to the north of the application site, approximately 65 metres away, where views of the proposed stables, ménage and associated development would be visible. However the design has a low pitched roof and an appearance not untypical of modern agricultural buildings and is therefore consistent with advice contained in the Council's Supplementary Planning Guidance on the Design of Agricultural Buildings. Furthermore the proposed materials of construction are reflective of most agricultural buildings found within the open countryside, as such is it not considered that the proposed development would be out of keeping of the surrounding countryside.

The proposed ménage is proposed to be sited to the north east of the proposed stable block adjacent to the ditch running to the south of the periphery of the field which is bordered by mature hedgerow planting. It is considered that the ménage has been sited to utilise the existing landscaping screening features to the south and would be located in close proximity to the proposed stables.

The ménage itself would be low level in nature enclosed by a shallow bund. It is however considered that there are changes in levels on the site and that there would be an element of cutting into the land and building up the up to the north west which at most would be approximately 0.6 metres. The bunding enclosing the ménage and the ménage itself is low level in nature and post and rail fencing is considered characteristic within the countryside setting. Whilst the site does have changes in levels the ménage would not be visually prominent within the countryside setting owing to just 0.6 metre of building up and the mature planting to the southern boundary of the site, and the proposed landscaping to the southern edge of the ménage. It is therefore concluded that the ménage would not be visually prominent within this countryside setting.

The access, parking and turning area, would consist of washed river gravel enclosed by a post and rail agricultural fence. The access parking and turning area extends for approximately 63 metres into the site towards the proposed stable block and approximately 33 metres in width adjacent the highway boundary, with reduces to 10 metres to the entrance of the proposed stable block. The area is to provide sufficient turning space for the manoeuvring and turning of the applicants two commercial horse lorries, associated with the proposed use. The use of bound washed river gravel would be considered to have a softer appearance within the field than tarmac which is typically used for built-up environments. The access would consist of a tarmac surfacing for the first 12 metres where it adjoins Thornton lane to the 2 metre high gates which are proposed to be set into the site. This would have an impact on the character and appearance of the locality with the introduction of further hard surfacing visible from the public highway. However, this would be softened by existing landscaping and proposed additional hedgerow planting within the site. Furthermore the entrance is located within view of the junction of Thornton Lane and Reservoir Road and there is a vehicular lay-by on the opposite side of the road to the south east of the junction. Therefore, given the location of the access and the surrounding highway surfacing, the use of tarmac surfacing at the entrance is considered to be acceptable.

By virtue of the siting, design, scale and proposed construction materials the proposal is considered to complement the character of the site and due to the screening provided by field boundary hedgerows and proposed additional planting by the applicant it would not have a material adverse impact on the character or appearance of the surrounding countryside. The proposal would therefore be in accordance with Policy BE1 (criterion a) and Policy NE5 (criteria i, ii and iii) of the adopted Local Plan, Policy DM4 and DM10 of the

emerging SADMP, Policy 21 of the Core Strategy and the overarching principles of the NPPF.

Access and Highway Safety

Policies NE5 (criterion iv), BE1 (criterion g) and T5 of the adopted Local Plan require that development will not generate traffic likely to exceed the capacity of the highway network or impair road safety, provides adequate highway visibility for road users and adequate off-street vehicle parking and turning facilities. These policies are considered to be consistent with the intentions of the NPPF and so are afforded weight in the determination of this application. Emerging Policy DM17 and 18 are subject to Main Modifications following the examination in public for the plan and therefore carry limited weight.

An objection has been received on the grounds of highway safety with the potential for slow turning vehicles close to a busy road junction.

The site would continue to be accessed from Thornton Lane/Whittington Lane but the scheme includes alterations to the existing field gate to increase its width to 5 metres, provide 7.5 metre radii, provide a tarmac surface, new security gates and 2 metre high close boarded timber screen fencing either side of the access. The scheme has been considered by Leicestershire County Council (Highways) who consider that the cumulative highway safety impacts of the development can be mitigated and are not considered to be severe. A number of conditions requiring the provision of satisfactory visibility splays at the junction with Thornton/Whittington Lane, access surfacing, gate set back and parking and turning within the site are recommended should the application be approved. Leicestershire County Council (Highways) considers that the visibility splays could be achievable by the relatively minor trimming back and removal of branches on the roadside hedge.

The proposal would not result in any significant or material impacts on highway safety grounds and is therefore in accordance with Saved Policies NE5 (criterion iv), BE1 (criterion g) and T5 of the adopted Local Plan.

Other issues

An objection has been received that the scheme would have an adverse impact on nearby sites of special scientific interest, protected species and their habitat. The hedgerow fronting onto Thornton Lane/Whittington Lane is identified as a site of importance for nature conservation (SINC). However, as the proposed development would be positioned in excess of 60 metres from the boundary it is considered that it is unlikely that it would have any material adverse impact on the hedgerow, protected species or their habitat.

Issues raised in respect of inaccuracies within the planning application form and submitted details have been noted and taken into consideration.

Issues raised in respect of development undertaken without planning consent are a matter for enforcement to investigate, and take any proportionate action. An enforcement investigation has been commenced, and the site is under investigation, specifically in regards to the concrete slab situated adjacent to the hedge which borders with Thornton Lane/Whittington Lane.

Objection received in respect of the future use of the site for living accommodation, would be subject to a separate planning application. A recent application (ref 15/00375/FUL) for the siting of a mobile home has been refused. This application relates to the use of the site for equestrian purposes only.

Objections have also been raised in respect of no provision for foul surface water drainage. However following consultation with Environmental Health (Drainage) a note to applicant would be provided advising that animal waste and surface water contaminated by animal waste must not be discharged to ditches, watercourse or soakaways, and the applicant would have to comply with the standards as set out in 'The Water Resources (Control of Pollution) (Silage, Slurry and Agricultural Fuel Oils) (England) Regulations 2010 and as Amended 2013 (SSAFO).

Concerns have also been raised relating to external lighting of the site. No lighting scheme has been proposed however a condition has been recommended following consultation with Environmental Health, that a lighting scheme shall be submitted for approval, to ensure any lighting would not have an adverse impact on the surrounding area.

Conclusion

The applicant has sought to demonstrate that the proposed scheme would be used in association with a rural enterprise and as such the principle of development within this countryside location is considered acceptable. By virtue of the siting, design, scale, appearance and construction materials, together with existing screening by field boundary hedgerows, and indicative landscaping proposals, the scheme would not have any material adverse impact on the character or appearance of the site or surrounding countryside. The scale of activity would not give rise to any adverse impacts on the rural amenity of the area or highway safety. The proposal would be in accordance with Policies NE5 (criteria i, ii, iii and iv), BE1 (criteria a and i) and T5 of the adopted Local Plan, Policies DM4 and DM10 of the emerging SADMP, Policy 21 of the adopted Core Strategy together with the overarching principles of the NPPF. The proposal is therefore recommended for approval subject to conditions.

RECOMMENDATION:- Grant subject to conditions.

Summary of Reasons for Recommendation and Relevant Development Plan Policies :

Conditions:-

- 1 The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
- 2 The development hereby permitted shall not be carried out otherwise than in complete accordance with the submitted application details as follows; Location Plan (Scale 1:2500), Site Location (Scale 1:12500), Block Plan (Scale 1:500), Proposed Menage details (Scale 1:20, 1:100, 1:200), Stable Block details (Scale 1:200), Stable Block Details (Scale 1:00) received by the Local Planning Authority 22 July 2015
- 3 Within two months of this decision, details of the surfacing, parking and turning area shall be submitted to and approved in writing by the Local Planning Authority. Within three months of the written agreed approval the scheme shall be fully implemented.
- 4 Notwithstanding the submitted plans within two months of the development hereby approved full details of both hard and soft landscape works have first been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. These details shall include:
 - i. Planting plans
 - ii. Enclosures and boundary treatments

- iii. Written specifications
 - iv. Schedules of plants, noting species, plant sizes and proposed numbers/densities where appropriate.
 - v. Implementation programme.
- 5 The approved hard and soft landscaping scheme shall be carried out in accordance with the approved details. The soft landscaping scheme shall be maintained for a period of five years from the date of planting. During this period any trees or shrubs which die or are damaged, removed, or seriously diseased shall be replaced by trees or shrubs of a similar size and species to those originally planted at which time shall be specified in writing by the Local Planning Authority.
 - 6 Before first use of the development hereby approved, the vehicular access from the site onto Thornton Lane, shall be provided with 7.5 metre kerbed radii on both sides of the access as shown on Dwg No. 3887/2R
 - 7 Before first use of the development hereby approved the access drive shall be surfaced in a bound porous material for a minimum distance of 12 metres from the back edge of the highway and shall be so maintained at all times.
 - 8 Before first use of the development hereby approved, the vehicular access to the site shall be widened to an effective minimum width of 6 metres over a distance of 12 metres behind the highway boundary.
 - 9 Before first use of the development hereby approved, visibility splays of 2.4 metres by 113 metres shall be provided at the junction of the access with Thornton Lane. These shall be in accordance with the standards contained in the current County Council design guide and shall thereafter be maintained. Nothing shall be allowed to grow above a height of 0.6 metres above ground level within the visibility splays.
 - 10 Before first use of the site details of any proposed external illumination within the development shall be submitted to and approved in writing. The scheme shall be implemented in accordance with those approved details.
 - 11 No horse manure or other waste materials shall be burnt on the site at any time.

Reasons:-

- 1 To comply with the requirements of Section 19 of the Town and Country Planning Act 1990, as amended by the Planning and Compulsory Purchase Act 2004.
- 2 For the avoidance of doubt and in the interests of proper planning.
- 3 To enhance the appearance of the development within this countryside and National Forest setting to accord with Policy 21 of the adopted Core Strategy (2009).
- 4 To enhance the appearance of the development within this countryside and National Forest setting to accord with Policy 21 of the adopted Core Strategy (2009).
- 5 To ensure that the work is carried out within a reasonable period and thereafter maintained to accord with Policy NE12 (criterion d) of the adopted Hinckley and Bosworth Local Plan (2001).

- 6 To enable vehicles to enter and leave the highway in a slow and controlled manner and in the interests of general highway safety and to afford easy access to accord with Policy T5 of the Hinckley and Bosworth Local Plan (2001).
- 7 To reduce the possibility of deleterious material being deposited in the highway in accordance with Policy T5 of the Hinckley and Bosworth Local Plan (2001).
- 8 To ensure that vehicles entering and leaving the site may pass each other clear of the highway and not cause dangers within the highway to accord with Policy T5 of the Hinckley and Bosworth Local Plan (2001).
- 9 To afford adequate visibility at the access/junction to cater for the expected volume of traffic joining the existing highway network and in the interests of highway safety in accordance with Policy T5 of the adopted Hinckley and Bosworth Local Plan (2001).
- 10 In the interests of amenity to reduce any impact of night time illumination on the character of the area, in accordance with Policy NE5 of the Hinckley and Bosworth Local Plan (2001) and Policy DM7 (criterion c) of the Site Allocations and Development Management Plan.
- 11 To ensure the development does not have an adverse impact on the amenities of surrounding properties in terms of air pollution to accord with Policy BE1 of the adopted Hinckley and Bosworth Local Plan (2001).

Notes to Applicant:-

- 1 Bats, nesting birds, great crested newts and certain other species are protected by law. If any such species are discovered before or during the works the works must be suspended and the local office of Natural England contacted for advice.
- 2 This permission does not grant approval under the Building Act 1984 and the Building Regulations 2000 (as amended) for which a separate application may be required. You are advised to contact the Building Control Section.
- 3 As from 6 April 2008 this Authority are charging for the discharge of conditions in accordance with revised fee regulations which came into force on that date. Application forms to discharge conditions and further information can be found on the planning portal web site www.planningportal.gov.uk.
- 4 All works within the limits of the Highway with regard to the access shall be carried out to the satisfaction of the Southern Area Manager (0116 3052202).
- 5 Animal waste and surface water contaminated by animal waste must not be discharged to ditches, watercourses or soakaways. Slurry, contaminated runoff - including wash water - and leachate from stockpiled manure, must be collected in tanks (or lagoons) complying with the standards laid down in 'The Water Resources (Control of Pollution) (Silage, Slurry and Agricultural Fuel Oils) (England) Regulations 2010 and as Amended 2013 (SSAFO). Clean roof water should be discharged to soakaways (subject to suitable ground strata), ditches or watercourses.

Contact Officer:- Jenny Brader Ext 5620

Reference: 15/00951/OUT

Applicant: Mrs A Chapman

Location: Merrifield House Merrifield Gardens Burbage

Proposal: Demolition of existing buildings and erection of 7 dwellings (outline - all matters reserved).

RECOMMENDATION:- Grant Outline Planning Permission subject to the completion of a suitable legal agreement under Section 106 of the Town and Country Planning Act 1990 to provide financial contributions towards public play and open space infrastructure and the following conditions:-

Introduction:-

This application is to be considered at Planning Committee in accordance with the Scheme of Delegation, as the application has attracted interest from the occupiers of five or more addresses, the views of which are contrary to the officer's recommendation.

Application Proposal

This application seeks outline planning permission with all matters reserved for the demolition of an existing dwelling and outbuildings and redevelopment of the site for the erection of seven new dwellings on land off Merrifield Gardens, Burbage.

An indicative only site layout has been submitted with the application to demonstrate how seven new dwelling plots could be arranged within the site along with access, off-street parking and retention of significant trees within the site. An amended indicative only site layout has been submitted following officer feedback on the originally submitted plan including the comments of the Arboricultural Officer. Re-consultation has been undertaken.

The Site and Surrounding Area

The application site measures approximately 0.28 hectares and is located within the settlement boundary of Burbage. It comprises a vacant two storey detached dwelling (Merrifield House), associated outbuildings, hardstanding and an extensive somewhat overgrown garden populated by a number of mature trees (some of which are protected by a 1978 Tree Preservation Order) and other vegetation. There is a narrow private drive leading into the site from Merrifield Gardens that currently serves 4 bungalows (including one in the applicant's ownership). There is another overgrown former vehicular access to Sketchley Road within the applicant's ownership but this has been removed from the application site. The site is enclosed by a mix of hedgerows and a variety of fencing.

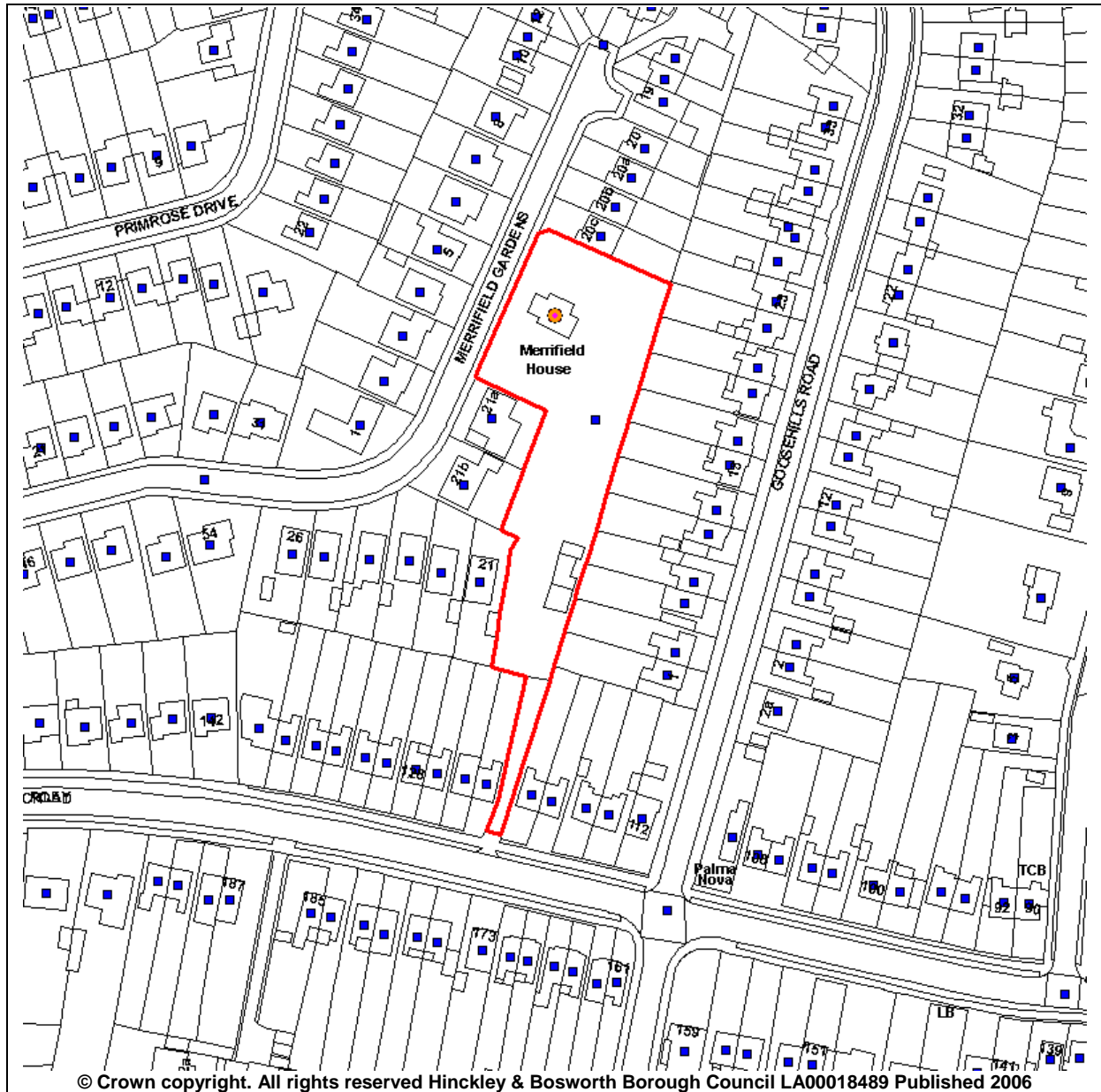
The site is surrounded by residential development. To the east and south there are long rear gardens of two storey dwellings fronting Goosehills Road and Sketchley Road. To the north there are two storey detached dwellings fronting onto Merrifield Gardens. To the west there are detached bungalows fronting onto Merrifield Gardens.

Technical Documents submitted with the Application

Planning Statement and Tree Survey/Schedule

Relevant Planning History:-

There are a number of previous planning permissions (dating back to the 1990's and earlier) relating to adjacent land for the erection of residential development (that include detached bungalows and houses) but none relating directly to the current application site.



Consultations:-

No objections have been received from

Leicestershire County Council (Ecology)
Burbage Parish Council.

No objections subject to conditions have been received from:-

Leicestershire County Council (Highways)
Severn Trent Water Limited

Environmental Services (Land Drainage)
Environmental Services (Pollution)
Street Scene Services (Waste).

The Borough Council's Arboricultural Officer raises no objection in principle to residential development of the site but recommended amendments to the indicative site layout so that, in addition to those trees already identified for retention, two more mature trees that warrant retention could be incorporated into the development.

Neighbours notified, objections and concerns have been received from 23 separate addresses raising the following issues:-

- a) overdevelopment of the site
- b) loss of a unique, architecturally designed house
- c) non-road frontage development
- d) no need for additional housing in Burbage
- e) bungalows should be built rather than houses
- f) insufficient infrastructure within Burbage to support the development
- g) loss of privacy to neighbours from overlooking
- h) overbearing/overshadowing impact on neighbours
- i) loss of security to gardens
- j) adverse impact on amenity from additional noise from additional traffic and during construction
- k) loss of and/or damage to TPO and other trees
- l) loss of hedgerows and wildlife habitats for birds and bats (outbuildings)
- m) future responsibility and maintenance of retained trees
- n) adverse impacts on highway safety from additional traffic movements
- o) adverse impacts on highway safety from inadequate parking provision within the site leading to additional on-street parking and obstruction of driveways/manoeuvring
- p) adverse impacts on highway safety from additional use of single width private driveway located on dangerous bend
- q) alternative access to Sketchley Road should be utilised
- r) flooding/loss of natural drainage
- s) devaluation of property value.

Policy:-

National Policy Guidance

National Planning Policy Framework (2012)
National Planning Practice Guidance (2014)
Community Infrastructure Levy (CIL) Regulations (2010)

Local Plan 2006-2026: Core Strategy (2009)

Policy 4: Development in Burbage
Policy 19: Green Space and Play Provision
Policy 24: Sustainable Design and Technology

Local Plan 2006-2026: Site Allocations and Development Management Policies (SADMP)
Development Plan Document (Submission Document December 2014)

Policy DM1: Presumption in Favour of Sustainable Development
Policy DM3: Infrastructure and Delivery
Policy DM7: Preventing Pollution and Flooding

Policy DM10: Development and Design
Policy DM17: Highway Design
Policy DM18: Vehicle Parking Standards

Hinckley and Bosworth Local Plan (2001)

The site is within the settlement boundary of Burbage as defined on the adopted Hinckley and Bosworth Local Plan Proposals Map.

Policy BE1: Design and Siting of Development
Policy RES5: Residential Proposals on Unallocated Sites
Policy NE12: Landscaping Schemes
Policy NE14: Protection of Surface Waters and Groundwater Quality
Policy T5: Highway Design and Vehicle Parking Standards
Policy IMP1: Contributions Towards the Provision of Infrastructure & Facilities
Policy REC3: New Residential Development - Outdoor Play Space for Children

Supplementary Planning Guidance/Documents

Burbage Village Design Statement (BVDS)
New Residential Development (SPG)
Play and Open Space (SPD)
Sustainable Design (SPD).

Appraisal:-

This is an outline application with all matters reserved for the demolition of an existing dwelling and outbuildings and redevelopment of the site for the erection of seven new dwellings. The main issues for consideration in the determination of this application are:-

- principle of development
- density and impacts on the character of the area
- impacts on neighbouring properties
- impact on highway safety
- impact on trees and wildlife habitat
- surface water drainage and flooding
- developer contributions
- other issues

Principle of Development

Paragraphs 11 - 13 of the National Planning Policy Framework (NPPF) state that the development plan is the starting point for decision taking and that it is a material consideration in determining applications. The development plan in this instance consists of the Core Strategy (2009) and the saved policies of the Local Plan (2001). The policies within the emerging Site Allocations and Development Management Policies (SADMP) Development Plan Document (Submission Document December 2014) should also be given weight.

Objections have been received that there is no requirement for additional housing in Burbage and that the proposal would result in the loss of a unique architecturally designed house.

The application site is located within the settlement boundary of Burbage as defined in the adopted Local Plan where there is a presumption in favour of residential development

provided by Saved Policy RES5 of the adopted Local Plan. In addition, Policy 4 of the adopted Core Strategy supports development in Burbage to deliver a minimum of 295 new homes. Notwithstanding that the number of dwellings for Burbage supported by Policy 4 has been exceeded (as at 1 April 2015), it is a minimum number and the scale of proposed development for just six additional dwellings would not adversely affect the spatial vision for the settlement.

Policy DM1 of the emerging SADMP and the National Planning Policy Framework (NPPF) in paragraph 14 provide a presumption in favour of sustainable development. Paragraph 7 of the NPPF states that sustainable development has three interacting dimensions:- the social, economic and environmental roles. The site is located within a sustainable urban location surrounded by existing residential development and within a reasonable distance of services and facilities.

The proposal would contribute to the social role of sustainable development by providing additional housing towards the housing land supply for the Borough. The construction and sale of the development would contribute to the local economy. The development would regrettably result in the loss of an existing dwelling of attractive traditional design and architectural features but it is not of such significant architectural merit to warrant its retention. The demolition of the outbuildings and the redevelopment of the site would not result in the loss of any significant trees or wildlife habitats or any material adverse impacts on the environment.

Notwithstanding that the proposal may be considered to be a sustainable development and therefore acceptable in principle subject to all other planning matters being appropriately addressed, the NPPF in paragraph 53 suggests that local authorities should consider setting out policies to resist inappropriate development of residential gardens, for example where development would cause harm to the local area. As such the proposed development of this residential garden should be considered against adopted Local Plan policies to determine if it would harm the character of the local area.

Density and Impact on the Character of the Area

Policy DM10 (criteria c- h inclusive) of the emerging SADMP and saved Policy BE1 (criterion a) of the adopted Local Plan seeks to ensure that the development complements or enhances the character of the surrounding area with regard to scale, layout, density, mass, design, materials and architectural features with the intention of preventing development that is out of keeping with the character of the surrounding area. The Council's adopted Supplementary Planning Guidance on New Residential Development aims to ensure that new development has regard to the character of the surrounding area and is well integrated into its surroundings.

Policy 16 of the adopted Core Strategy relates to sites of 10 or more dwellings but requires new residential development to meet a minimum net density of 40 dwellings per hectare in Burbage although in exceptional circumstances, where individual site characteristics dictate and are justified, a lower density may be acceptable. The NPPF in paragraph 56 states that good design is a key aspect of sustainable design. Paragraph 58 seeks to ensure that development responds to local character and reflects the identity of local surroundings.

Objections have been received that the proposal would result in overdevelopment of the site with non-road frontage dwellings and that bungalows would be more suitable for the site rather than houses.

Notwithstanding the objections received in respect of overdevelopment, the proposal for seven dwellings would result in a density of just 25 dwellings per hectare. This would be

significantly less than the requirements of Policy 16 of the adopted Core Strategy, however, there are significant constraints to development of the site, including its shape, the proximity of neighbouring development and protected mature trees within the site. The proposed lower density is therefore considered to be acceptable in this case.

In addition, notwithstanding that all matters (including access, layout, scale and appearance) are reserved at this stage, the amended indicative only site layout demonstrates that the site would be capable of accommodating seven new dwellings in a pattern of development and plot size with adequate private amenity that would complement the character of Merrifield Gardens. The indicative only site layout suggests 3 x detached four bedroom dwellings with road frontage in the north part of the site and 4 x two bedroom bungalows in the south part of the site to provide continuity within the street scene with existing development. Whist Plots 4 - 7 would not have highway frontage, these would continue the existing private drive arrangement of bungalows. Therefore subject to these plots being single storey bungalows which would not be overly prominent within the street scene, the scheme would not result in any significant adverse impacts on the overall character of the area.

Subject to satisfactory access, scale, layout, mass, design, external materials, architectural features and landscaping, which are to be submitted as reserved matters for approval at a later stage and can be secured by planning conditions, the proposal would not result in any significant or demonstrable adverse impacts on the character of the surrounding area. This outline scheme would therefore be in accordance with Policy DM10 (criteria c and d) of the emerging SADMP, saved Policy BE1 (criterion a) of the adopted Local Plan, the Council's adopted SPG on New Residential Development and the overarching design principles within paragraphs 56 and 58 of the NPPF.

Impact on Neighbours Amenities

Policy DM10 (criterion a) of the emerging SADMP, saved Policy BE1 (criterion (i) of the adopted Local Plan and SPG require that development does not adversely affect the amenities or privacy of the occupiers of neighbouring properties.

Objections have been received on the grounds that the proposal would result in adverse impacts on the amenities of neighbouring properties from loss of privacy from overlooking, overbearing/overshadowing impacts, loss of security to gardens and loss of amenity from noise and disturbance from additional traffic movements and during the construction phase.

The amended indicative site layout demonstrates that subject to consideration of satisfactory additional details which are to be submitted for approval at the reserved matters stage (including layout, scale, design, position of windows and boundary treatments) and can be secured by planning conditions, the proposal would not result in any significant or demonstrable adverse overbearing or overshadowing impacts or loss of privacy from overlooking on the amenities of neighbouring properties or loss of security. By virtue of the small scale of development, noise and disturbance from additional traffic movements would not be so severe to materially affect the amenities of neighbouring occupiers.

Noise and disturbance during the construction phase would be temporary in nature and therefore would not have any long term impacts on the amenities of the occupiers of any neighbouring residential properties. However, whilst raising no objection in principle, Environmental Health (Pollution) recommends a condition to restrict the hours of work during the construction phase of the site due to the close proximity of neighbouring occupiers.

Notwithstanding the objections received, the proposed outline scheme would be in accordance with Policy DM10 (criterion a) of the emerging SADMP, saved Policy BE1 (criterion i) of the adopted Local Plan and SPG.

Highway Safety

Policies DM17 and DM18 of the emerging SADMP and saved Policies BE1 (criterion g) and T5 of the adopted Local Plan apply highway design and vehicle parking standards and seek to ensure that development does not adversely affect highway safety through the provision of adequate highway visibility and adequate provision of parking and manoeuvring facilities. Paragraph 32 of the NPPF states that development should only be prevented or refused on transport grounds where the residual cumulative impacts of development are severe.

Objections to the scheme have been received on the grounds of highway safety as a result of additional traffic movements to and from the new dwellings, inadequate parking provision resulting in additional on-street parking and additional use of a single width private driveway located on a dangerous bend.

The development is for only seven new dwellings which would not result in traffic movements on a scale that that would exceed the capacity of the highway network. The amended indicative site layout demonstrates that Plots 1 - 3 inclusive would have sufficient highway frontage and plot size to enable the provision of satisfactory access and off-street parking to serve the dwellings. Plots 4 - 7 inclusive would result in additional traffic movements along a single width private drive, however, the drive would be used by only four additional dwellings, the drive is only 30 metres in length and vehicles at either end would be able to see opposing traffic. In addition, the private drive is located on the outside of a bend and adequate visibility would be available on both sides along Merrifield Gardens which is a cul-de-sac road with no through traffic. There is also sufficient space within the site to provide satisfactory off-street parking and manoeuvring facilities to meet Highway Authority standards to serve Plots 4 -7 therefore it cannot be demonstrated that the proposal would result in any additional on-street car parking within Merrifield Gardens.

Objectors also suggest that an alternative access to Sketchley Road should be utilised. However, this is also of insufficient width to allow vehicles to pass and does not form part of the application site.

The scheme has been considered by Leicestershire County Council (Highways) who consider that the residual cumulative impacts of the development on the highway network can be mitigated and are not considered severe in accordance with paragraph 32 of the NPPF. They therefore raise no objection to the scheme subject to the imposition of a condition to require the submission for prior approval of a construction traffic/site traffic management plan etc. to protect the movement of traffic within the public highway and limit any adverse impacts on the highway during the construction phase.

This application is in outline only with all matters reserved. Subject to satisfactory access, layout and parking provision details which are to be submitted for approval at the reserved matters stage and can be secured by planning conditions. Notwithstanding the objections received, subject to the imposition of standard highway related conditions, the development of the site for seven dwellings would not result in any severe or demonstrable adverse impacts on highway or pedestrian safety and is therefore considered to be in accordance with Policies DM17 and DM18 of the emerging SADMP and saved Policies BE1 (criterion g) and T5 of the adopted Hinckley and Bosworth Local Plan.

Impact on Trees and Wildlife Habitats

Saved Policy BE1 (criterion b) seeks to avoid the loss of important vegetation that contributes to the quality of the local environment. Saved Policy NE12 (criteria a and c) require the submission of a site survey showing existing landscape features and a plan for

the protection of trees, hedgerows and shrubs and other nature conservation features on sites. The NPPF in section 11 seeks to conserve and enhance the natural environment by minimising impacts on biodiversity.

Objections have been received on the grounds that the proposed scheme would result in the loss of and/or damage to important trees (some of which are protected by a Tree Preservation Order (TPO)) and boundary hedgerows providing habitats and corridors for wildlife and that the demolition of the outbuilding would remove a potential roost for bats.

Following assessment and a site visit the Borough Council's Arboricultural Officer suggested that the initial indicative site layout would result in the removal of two trees of good quality that provide significant amenity value and should therefore be retained. As a result of those comments an amended indicative site layout plan has been submitted that retains the two trees and addresses the issues raised. Landscaping and boundary treatments are to be approved at the reserved matters stage, however, the Arboricultural Officer recommends the imposition of a condition to require a site specific tree protection plan to be submitted for prior approval.

The scheme has been considered by Leicestershire County Council (Ecology) who raise no objection to the demolition of the existing house and outbuildings as the urban setting and small gardens locally provide a less than ideal habitat for bats.

Concerns have also been raised regarding the future responsibility and maintenance of retained trees around the site. This would be a matter for consideration of landscaping at the reserved matters stage.

Notwithstanding the objections received, subject to the submission of satisfactory tree retention and protection details, the proposal would not result in any loss of important vegetation or significant adverse impacts on biodiversity and would be in accordance with saved Policies BE1 (criterion b) and NE12 (criteria a and c) of the adopted Hinckley and Bosworth Local Plan.

Surface Water Drainage and Flooding

Policy DM7 of the emerging SADMP and saved Policy NE14 of the adopted Local Plan require that development is provided with satisfactory surface water and foul water drainage and does not create or exacerbate flooding problems.

Objections have been received that the proposal for additional dwellings would exacerbate existing flooding problems on Marigold Drive as the existing storm water drainage system in the locality already has insufficient capacity in times of heavy rainfall and the proposal would result in the removal of trees and additional hardstanding.

The scheme has been assessed by both Severn Trent Water Limited and Environmental Heath (Drainage) who raise no objections to the scheme in principle, but recommend the imposition of pre-commencement conditions (in the event that outline planning permission is permitted) to require the submission for prior approval of surface water drainage details. It is suggested that these should incorporate sustainable drainage principles (SuDS) to mitigate any impacts on the current drainage system.

Developer Contributions

Policy DM3 of the emerging SADMP and saved Policies IMP1 and REC3 of the adopted Local Plan and the Play and Open Space SPD require new residential development to contribute towards the provision and maintenance of public play and open space facilities for

children. The Play and Open Space SPD sets out how the contribution is worked out in proportion to the size and scale of the development. The request for any developer must be considered alongside the guidance contained within the Community Infrastructure Levy Regulations 2010 (CIL). The CIL Regulations confirm that where developer contributions are requested they need to be necessary, directly related and fairly and reasonably related in scale and kind to the development proposed.

Objections have been received on the grounds that there is insufficient infrastructure within Burbage to support the development.

Following the recent changes to the NPPG (removal of paragraphs 012 - 023) and the restriction on obtaining developer contributions on small scale sites the scheme is now subject to such considerations. The site is within 400 metres of Featherstone Drive Neighbourhood Park (equipped area of play) which provides such facilities and therefore falls within the catchment area for infrastructure contributions towards public play and open space facilities. However, the scale of the scheme (less than 10 units) is below the threshold for other infrastructure contributions.

Within the green space audit Burbage was found to have a deficiency of equipped play space of 1.11 hectares for its population when compared with the National Playing Fields Standard. The quality of the spaces has been considered within the Quality and Accessibility Audit of 2007 which awarded Featherstone Drive Neighbourhood Park a quality score of only 56.7%. In accordance with the Play and Open Space SPD the contribution in this case would total £1250.80 for each additional residential unit (provision element of £817.80 and maintenance element of £433.00 per unit) and would be used to provide and maintain additional play equipment and to maintain existing equipped and informal amenity play space to mitigate the impact of the additional dwellings on such facilities. The total contribution in this case would be £7504.80 (6 x £1250.80).

The size of the additional units proposed would appeal to families and given the proximity of the application site to the open space it is considered that the future occupiers would use the facility, increasing wear and tear and requiring maintenance. It is considered that the Council has demonstrated that the proposal is required for a planning purpose, it is directly related to the development and fairly and reasonably relates in scale and kind to the proposal in accordance with the CIL Regulations, and a contribution is justified in this instance. A legal agreement to secure the play and open space contributions is currently being prepared.

Other Issues

Street Scene Services (Waste) recommend a condition to secure a scheme for the provision for waste and recycling storage at the highway boundary however, the site benefits from adequate highway frontage and storage space for each plot could be provided within the development therefore a condition is not considered to be reasonable or necessary in this case.

Impact on property values is not a material planning consideration.

Conclusion

The application site is in a sustainable urban location within the settlement boundary of Burbage where residential development is generally acceptable in principle and would contribute towards the overall housing land supply within the Borough. The site could be provided with adequate access to the adopted highway network and subject to satisfactory layout, scale, design, appearance and landscaping (which would be considered at the reserved matters stage and could be controlled by planning conditions), the scheme would

provide an appropriate density, would complement the character and appearance of the surrounding area and would not give rise to any adverse impacts on the amenities of the occupiers of any neighbouring properties, highway safety or biodiversity. Suitable surface water drainage could also be secured by condition to mitigate against flooding. The scheme would contribute to the provision and maintenance of public play and open space facilities.

The scheme is therefore considered to be in accordance with Policies DM1, DM3, DM7, DM10 (criteria a, c and d), DM17 and DM18 of the emerging SADMP, Policy 4 of the adopted Core Strategy, saved Policies BE1 (criteria a, b, g and i), NE12, NE14, RES5, IMP1, REC3 and T5 of the adopted Local Plan, the adopted SPG on New Residential Development together with the overarching principles of the NPPF and is therefore recommended for outline approval with all matters reserved subject to conditions and the completion of a legal agreement to secure financial contributions towards public play and open space facilities.

RECOMMENDATION:- Grant Outline Planning Permission subject to the completion of a suitable legal agreement under Section 106 of the Town and Country Planning Act 1990 to provide financial contributions towards public play and open space infrastructure and the following conditions:-

RECOMMENDATION:- Grant Outline Planning Permission subject to the completion of a suitable legal agreement under Section 106 of the Town and Country Planning Act 1990 to provide financial contributions towards public play and open space infrastructure and the following conditions:-

In dealing with the application, through ongoing negotiation the local planning authority have worked with the applicant in a positive and proactive manner based on seeking solutions to problems arising in relation to dealing with the planning application.

Conditions:-

- 1 Application for the approval of reserved matters shall be made within three years from the date of this permission and the development shall be begun not later than two years from the date of approval of the last of the reserved matters to be approved.
- 2 Approval of the following details (hereinafter called "reserved matters") shall be obtained from the local planning authority in writing before any development is commenced:
 - a) The layout of the site including the way in which buildings, routes and open spaces are provided and the relationship of these buildings and spaces outside the development
 - b) The scale of each building proposed in relation to its surroundings
 - c) The appearance of the development including the aspects of a building or place that determine the visual impression it makes.
 - d) The access arrangements to and within the site for vehicles, cycles and pedestrians
 - e) The landscaping of the site including treatment of private and public space to enhance or protect the site's amenity through hard and soft measures.

The development shall be implemented in accordance with the approved details.

- 3 The development hereby permitted shall not be carried out otherwise than in complete accordance with the submitted application details, as follows:- Site Location Plan at 1:1250 scale Drawing No. 05A received by the local planning authority on 26 October 2015.

- 4 No development shall commence on site until such time as the existing and proposed ground levels of the site, and proposed finished floor levels have been submitted to and agreed in writing by the local planning authority. The development shall then be implemented in accordance with approved proposed ground levels and finished floor levels.
- 5 Before any development commences, representative samples of the types and colours of materials to be used on the external elevations of the proposed dwellings shall be deposited with and approved in writing by the local planning authority, and the scheme shall be implemented in accordance with those approved materials.
- 6 No development shall commence until surface water drainage details, incorporating sustainable drainage principles (SuDS) have been submitted to and approved in writing by the local planning authority and the scheme shall subsequently be implemented in accordance with the approved details before the development is completed.
- 7 All details of the proposed development shall comply with the highway design standards of the Leicestershire County Council as contained in its current design standards document the '6Cs Design Guide'. Such details must include parking and turning facilities, access widths, gradients, surfacing and visibility splays and be submitted for approval by the local planning authority before development commences.
- 8 Before any development commences on the site, including site works of any description, an Arboricultural Method Statement and Tree Protection Plan prepared by a suitably qualified arboriculturist shall be submitted to and approved in writing by the local planning authority. The development shall then be carried out in accordance with the approved details.
- 9 No development shall commence on the site until such time as a construction management plan including hours of operation, working practices, construction traffic/site traffic management, including wheel cleansing facilities and vehicle parking facilities, and a timetable for their provision, has been submitted to and approved in writing by the local planning authority. The development shall thereafter be carried out in accordance with the approved details and timetable.

Reasons:-

- 1 To comply with the requirements of Section 92 of the Town & Country Planning Act 1990 (as amended).
- 2 This is a planning permission in outline only and the information required is necessary for the consideration of the ultimate detailed proposal.
- 3 For the avoidance of doubt and in the interests of proper planning.
- 4 To ensure that the development has a satisfactory appearance in the interests of visual amenity to accord with Policy DM10 (criteria c and f) of the emerging Site Allocations and Development Management Policies Development Plan Document and saved Policy BE1 (criterion a) of the adopted Hinckley & Bosworth Local Plan.
- 5 To ensure that the development has a satisfactory external appearance to accord with Policy DM10 (criterion h) of the emerging Site Allocations and Development

Management Policies Development Plan Document and saved Policy BE1 (criterion a) of the adopted Hinckley & Bosworth Local Plan.

- 6 To ensure that the development is provided with satisfactory surface water drainage in accordance with Policy DM7 of the emerging Site Allocations and Development Management Policies Development Plan Document and saved Policy NE14 of the adopted Hinckley and Bosworth Local Plan.
- 7 To ensure a satisfactory form of development and in the interests of highway safety to accord with Policies DM17 and DM18 of the emerging Site Allocations and Development Management Policies Development Plan Document and saved Policy T5 of the adopted Hinckley and Bosworth Local Plan.
- 8 To ensure the existing trees to be retained are adequately protected during construction and in the interests of visual amenity of the area and biodiversity to accord with saved Policies BE1 (criterion b) and NE12 (criteria a and c) of the adopted Hinckley and Bosworth Local Plan and paragraph 109 of the National Planning Policy Framework (2012).
- 9 To protect the amenities of neighbouring properties during construction of the development and to reduce the possibility of deleterious material (mud, stones etc.) being deposited in the highway and to ensure that construction traffic/site traffic associated with the development does not lead to on-street parking problems in the area in the interest of highway safety to accord with saved Policies BE1 (criterion i) and T5 of the adopted Hinckley and Bosworth Local Plan.

Notes to Applicant:-

- 1 Bats, nesting birds, great crested newts and certain other species are protected by law. If any such species are discovered before or during the works the works must be suspended and the local office of Natural England contacted for advice.
- 2 This permission does not grant approval under the Building Act 1984 and the Building Regulations 2000 (as amended) for which a separate application may be required. You are advised to contact the Building Control Section.
- 3 As from 6 April 2008 this Authority are charging for the discharge of conditions in accordance with revised fee regulations which came into force on that date. Application forms to discharge conditions and further information can be found on the planning portal web site www.planningportal.gov.uk.
- 4 All works within the limits of the Highway with regard to the access shall be carried out to the satisfaction of the Southern Area Manager (0116 3052202).
- 5 This planning permission does NOT allow you to carry out access alterations in the highway. Before such work can begin, separate permits or agreements will be required under the Highways Act 1980 from either the Infrastructure Planning team. For further information, including contact details, you are advised to visit the County Council website as follows: - see Part 6 of the '6Cs Design Guide' at www.leics.gov.uk/6csdg.
- 6 Surface water should be managed by sustainable methods, preferably those which disperse runoff by infiltration into the ground strata: i.e. soakaways, pervious paving, filter drains, swales etc. and the minimisation of paved area, subject to satisfactory porosity test results and the site being free from a contaminated ground legacy. If the

ground strata are insufficiently permeable to avoid the necessity of discharging some surface water off-site, flow attenuation methods should be employed, either alone or, if practicable, in combination with infiltration systems and/or rainwater harvesting systems.

- 7 Access drives, parking and turning areas, paths and patios should be constructed in a permeable paving system, with or without attenuation storage, depending upon ground strata permeability. On low-permeability sites, water dispersal may be augmented by piped land drains, installed in the foundations of the paving, discharging to an approved outlet. (See Environment Agency guidance on the permeable surfacing of front gardens).
- 8 In addition to the retention of the significant trees within the site the applicant should also give due consideration to the retention of the existing hedgerow forming the east boundary of the site and to responsibility for future management and maintenance of the trees and hedgerow.

Contact Officer:- Richard Wright Ext 5894

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National Policy Guidance	
National Planning Practice Guidance 2014	<p>The National Planning Practice Guidance (NPPG) was published on 6 March 2014 as a web-based resource. The NPPG has cancelled a number of previous planning guidance documents including the majority of previous Circulars and Letters to Chief Planning Officers. The NPPG was introduced following the Review of Government Planning Practice Guidance carried out by Lord Taylor with the aim of making the planning system simpler, clearer and easier for people to use. The guidance contains 41 categories from ‘Advertisements’ to ‘Water Supply’.</p> <p>The NPPG is guidance designed to supplement to the National Planning Policy Framework (NPPF). It is therefore a material consideration in planning decisions.</p>
National Planning Policy Framework 2012	<p>The NPPF reiterates the statutory requirement that applications for planning permission must be determined in accordance with the development plan, unless material considerations indicate otherwise. The NPPF is a material consideration in planning decisions.</p> <p>It also states that the document should be read in conjunction with the newly released policy statement on Gypsies and Travellers.</p> <p>The purpose of the planning system is to contribute to the achievement of sustainable development. There are 3 dimensions to sustainable development:</p> <ul style="list-style-type: none"> • An economic role – contributing to building a strong, responsive and competitive economy, by ensuring that sufficient land of the right type is available in the right places to support growth and innovation • A social role – supporting strong, vibrant and healthy communities by providing the supply of housing required to meet the needs of present and future generations, and by creating a high quality built development with accessible local services; • An environmental role – contributing to protecting and enhancing our natural, built and historic environment. <p>At the heart of the NPPF is a presumption in favour of sustainable development, which should be seen as a golden thread running through both plan-making and decision making. For decision making this means:</p> <ul style="list-style-type: none"> • Approving development proposals that accord with the development plan without delay; and • Where the development plan is absent, silent or relevant policies are out of date, granting permission unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole; or specific policies in this Framework indicate development should be

	<p>restricted. (Para 14).</p> <p>Local planning authorities should approach decision-taking in a positive way to foster the delivery of sustainable development. The relationship between decision making and plan-making should be seamless, translating plans into high quality development on the ground. (Para 186). They should seek for solutions rather than problems and decision-takers at every level should seek to approve applications for sustainable development where possible.</p> <p>Early engagement in pre-application discussions is encouraged where it is offered. Developers should be encouraged to engage with the community.</p> <p>The planning system is plan-led. Planning law requires that applications for planning permission must be determined in accordance with the development plan, unless material considerations indicate otherwise. The Framework is a material consideration in planning decisions. (Para 196)</p> <p>In assessing and determining development proposals, local planning authorities should apply the presumption in favour of sustainable development (Para 197).</p> <p><u>Implementation</u></p> <p>The policies in the NPPF apply from the day of publication (27th March 2012).</p> <p>For 12 months from the day of publication, decision makers may continue to give full weight to relevant policies adopted since 2004 even if there is a limited degree of conflict with the Framework.</p> <p>The Hinckley and Bosworth Local Plan was adopted in February 2001, as such it is necessary to review all saved local plan policies according to their consistency with the framework. Due weight must then be given according to their consistency with the NPPF. These are appraised within each application late item.</p> <p>For clarity it should be noted that the following national policy guidance documents referred to in the main agenda are superseded by the NPPF:</p> <p>Circular 05/05 Circular 01/06 NPPF (Draft) All Planning Policy Guidance and Statements</p>
<p>The Community Infrastructure Levy (CIL) Regulations 2010</p>	<p>Part 11, Regulation 122 provides a statutory duty in respect of planning obligations and requires them to be necessary, directly related and fairly and reasonably related in scale and kind to the development proposed. The Regulation does not replace Circular 05/2005 but gives it a statutory foothold in planning legislation.</p>

Hinckley and Bosworth Core Strategy 2009	
Policy 1	Development in Hinckley: supports Hinckley's role as a sub-regional centre and sets out the criteria to achieve this. It makes provision for a minimum of 1120 new residential dwellings, seeks to diversify the existing housing stock in the town centre to cater for a range of house types and sizes, seeks to ensure there is a range of employment opportunities within Hinckley and to allocate land for new office development within or adjoining the Hinckley Town Centre Area Action Plan boundary. It supports the expansion of the creative industries job market, the provision of new retail space, the redevelopment of the railway station to deliver a transport interchange, the provision of a new bus station, transport improvements, tourism development and the development of new leisure facilities.
Policy 4	Development in Burbage: makes provision for the allocation of land for a minimum of 295 new residential dwellings focused primarily to the north of Burbage, 10ha of B8 employment land and 4ha of B2 employment land adjacent to the railway line as an extension to Logix Park. It supports the provision of additional retail floorspace within the defined Burbage local centre, transport improvements, tourism development and infrastructure to support the new development including an extension to the GP surgery, play and open space, and cycling routes.
Policy 16	Housing Density, Mix and Design: seeks to ensure that all new residential developments provide a mix of types and tenures appropriate to the applicable household type projections.
Policy 19	Green Space and Play Provision: seeks to ensure that all residents have access to sufficient, high quality and accessible green spaces and play areas.
Policy 24	Sustainable Design and Technology: seeks to ensure all new development meets specified sustainable design and technology standards.

Hinckley and Bosworth Local Plan 2001	
INFRASTRUCTURE	
Policy IMP1	Contributions towards the provision of infrastructure and facilities: requires contributions towards the provision of infrastructure and facilities to serve the development commensurate with the scale and nature of the development proposed. <i>This policy is consistent with the intentions of the NPPF.</i>
HOUSING	
Policy RES5	Residential Proposals on Unallocated Sites: states that on sites that are not specifically allocated in the plan for housing, planning permission will only be granted for new residential development if the site lies within a settlement boundary and the siting, design and layout of the proposal does not conflict with the relevant plan policies. <i>This policy is consistent with the intentions of the NPPF if the development is within the settlement boundary but has limited consistency in all other locations.</i>
CONSERVATION AND BUILT ENVIRONMENT	
Policy BE1	Design and Siting of Development: requires that planning permission for development proposals will be granted where they:

	<p>complement or enhance the character of the surrounding area with regards to scale, layout, density, materials and architectural features; avoid loss of open spaces; has regard to safety; incorporates design features which reduce energy consumption, encourages recycling and minimises impact on local environment; incorporates a high standard of landscaping; meets DDA requirements where necessary; ensure adequate highway visibility and parking standards and manoeuvring facilities; do not adversely affect the amenities of neighbouring properties; and would not be prejudicial to the comprehensive development of a larger area of land of which the development forms part. For residential proposes development should incorporate urban design standards, ensure adequate degree of amenity and privacy and provide sufficient amenity space.</p> <p><i>Criteria a - i of this policy are consistent with the NPPF and as such the policy should be given weight.</i></p>
THE NATURAL ENVIRONMENT	
Policy NE5	<p>Development in the Countryside: states that the countryside will be protected for its own sake and that planning permission will be granted for built and other forms of development in the countryside provided that the development is either:-</p> <ol style="list-style-type: none"> a) Important to the local economy and cannot be provided within or adjacent to an existing settlement; or b) For the change of use, reuse or extension of existing buildings, particularly those of historic value; or c) For sport or recreation purposes. <p>And only where the following criteria are met:-</p> <ol style="list-style-type: none"> i) It does not have an adverse effect on the appearance or character of the landscape. ii) It is in keeping with the scale and character of existing buildings and the general surroundings. iii) Where necessary it is effectively screened by landscaping or other methods. iv) The proposed development will not generate traffic likely to exceed the capacity of the highway network or impair road safety. <p><i>This policy is consistent with the intentions of the NPPF for rural enterprise proposals but has limited consistency in all other respects</i></p>
Policy NE12	<p>Landscaping Schemes: requires proposals for development to make provision for further landscaping where appropriate.</p> <p><i>This policy is partially consistent with the intentions of the NPPF.</i></p>
Policy NE14	<p>Protection of Surface Waters and Groundwater Quality: seeks to ensure that developments do not compromise the quality of the water environment.</p> <p><i>This policy has limited consistency with the intentions of the NPPF as it is too specific</i></p>
TRANSPORTATION	
Policy T5	<p>Highway Design and Vehicle Parking Standards: refers to the application of appropriate standards for highway design and parking provision for new development</p>

	<i>This policy is consistent with the intentions of the NPPF.</i>
RECREATION AND TOURISM	
Policy REC3	New Residential Development – Outdoor Play Space for Children: requires the appropriate level of open space to be provided within development sites or, alternatively, a financial contribution to be negotiated towards the provision of new recreation facilities within the vicinity of the site or towards the improvement of existing facilities in the area. <i>This policy is consistent with the intentions of the NPPF.</i>

Supplementary Planning Guidance / Documents	
New Residential Development SPG	Provides guidance on design issues to ensure new developments are well integrated into their surroundings, offer a good standard of security and amenity to future residents, protect amenity of existing occupiers and are locally distinctive in their appearance.
House Extensions SPG	Provides guidance on design issues to ensure extensions not only complement the character of the existing house but also the character of the area and seeks to ensure extensions do not adversely impact upon the amenity of residents of neighbouring property.
Play and Open Space Guide 2008 SPD	Sets out the Boroughs approach when considering applications for development likely to generate a demand for open space and play facilities.
Sustainable Design 2008 SPD	Promotes sustainable development to contribute towards a greener future. It offers best practice guidance to developers in the design process, and requires an effective contribution of sustainable energy on each new building across the Borough.

Other Material Policy Guidance	
Site Allocations and Development Management Policies Development Plan Document – Submission version	This document forms part of the Local Plan 2006 to 2026 (formerly LDF). It identifies specific sites for particular uses, such as housing, employment, retail, open space and community facilities that will deliver the aims and vision of the Core Strategy. It also contains development management policies which will be used to assess planning applications over the plan period. This document was published for consultation in February 2014. Modifications to this document are currently being prepared in advance of being submitted to the Secretary of State in Spring 2015. A full Examination is likely to take place in the summer of 2015.

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Appeal Decision

Site visit made on 28 September 2015

by D M Young BSc (Hons) MA MIHE

an Inspector appointed by the Secretary of State for Communities and Local Government

Decision date: 28 October 2015

Appeal Ref: APP/K2420/W/15/3013851
148 Kirkby Road, Barwell, Leicestershire LE9 8FS.

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
 - The appeal is made by Mr Nick Jollands against the decision of Hinckley & Bosworth Borough Council.
 - The application Ref 14/01074/FUL, dated 23 October 2014, was refused by notice dated 18 December 2014.
 - The development proposed is erection of one detached house (re-submission of previous refusal 14/00652/FUL).
-

Decision

1. The appeal is dismissed.

Preliminary Matters

2. The Council determined the planning application in light of the Secretary of State's Written Ministerial Statement of 28 November 2014 and subsequent alterations to the Planning Practice Guidance (PPG) concerning planning obligations for social infrastructure contributions. As such it did not consider it appropriate at that time to apply policies IMP1 and REC3 of the Hinckley and Bosworth Local Plan 2001 (LP) which seeks financial contributions towards public play and open space facilities from such proposals.
3. Following the High Court judgement of 31 July 2015 in relation to the Written Ministerial Statement, the Court made a Declaration Order on 4 August 2015, confirming that the policies in the Written Ministerial Statement must not be treated as a material consideration in the decision making process. Consequently, it is necessary for me to consider the appeal proposal in the light of policies IMP1 and REC3. The main parties were given the opportunity to comment on the implications of the Declaration Order and the Council now takes the view that a contribution to play and open space provision should be made.

Main Issues

4. The main issues are, firstly, whether a social infrastructure contribution should be made and how should that be secured and, secondly, the effect of the proposal on the character and appearance of the area.

Reasons

Social infrastructure contribution

5. On the basis of policies IMP1 and REC3 of the LP and the Play and Open Space Supplementary Planning Document, a contribution of £1,250.80 has been requested to support the provision of off-site public play and open space facilities for children. On the basis of the information provided, I am satisfied that the requirement for such a contribution would be in accordance with the statutory tests.
6. I have had regard to comments made by the appellant regarding the current uncertainty over the Declaration Order. However at the time of writing, although permission has been granted to appeal the judgement, both it and the Declaration Order remain in place and I am required to have due regard to them.
7. Given the above, I find that a contribution towards social infrastructure should be made. The appellant has not submitted a planning obligation although has confirmed that he is willing to do so. I have therefore considered the possibility of imposing a negatively worded condition. The PPG states; "*A negatively worded condition limiting the development that can take place until a planning obligation or other agreement has been entered into is unlikely to be appropriate in the majority of cases*". It goes on to say that these conditions should only be used in "*exceptional*" circumstances where the case is "*complex*" and "*strategically important*".
8. I am not persuaded that the circumstances of the appeal scheme before me fulfil the aforementioned criteria and therefore, I conclude that it would not be appropriate for me to deal with this issue by way of a planning condition. Accordingly, the lack of such an obligation means the development would be at odds with policies IMP1 and REC3 of the LP.

Character and appearance

9. The appeal site comprises a rectangular plot of land between 148 and 146 Kirkby Road. No 148 is a large, recently extended detached property whereas No 146 is a semi-detached property occupying a smaller plot. The site has been cleared and it is proposed to erect a new two-storey detached property with a shared access with No 148.
10. The appeal property is situated on the edge of a small enclave of 3 large detached dwellings. These properties all occupy large plots and are set well back from Kirkby Road. The character of this area is in marked contrast to the wider area which has a higher density and a more varied character, being made up of dwellings of differing age and styles with smaller plot sizes. I do not therefore agree that the character of the street scene is characterised entirely by well spaced dwellings of regular width as suggested by the Council.
11. The proposal would respect the front building line and height of adjacent properties and the Council raise no objection to the design which would incorporate features found in adjacent properties. The Council argue that the constrained width of the plot would result in a dwelling that would fail to integrate with the street-scene.

12. Whilst I accept the dimensions of the plot would differ to those on either side, there is already a significant difference in this regard between Nos 148 and 146, the former being a detached property on a large plot and the latter a semi-detached property on a smaller plot.
13. The appeal scheme would undoubtedly have a narrower design and plot than the 3 detached properties to the north. However, seen in its immediate context alongside Nos 148 and 146, the plans indicate there would be a reasonable degree of separation, particularly above ground-floor level. In view of these considerations and the fact that the dwelling would be set well back from Kirkby Road, I do not consider, despite it being visually different to adjacent properties, that it would be inappropriate or unduly harmful.
14. I therefore conclude that the proposal would not harm the character and appearance of the area. As such, it would accord with the aims and objectives of policy BE1 of the LP, the New Residential Development Supplementary Planning Guidance and the relevant sections of the National Planning Policy Framework which collectively seek a high standard of design which safeguards and enhances the existing environment.

Other Matters

15. I have had regard to concerns raised by adjacent occupiers in relation to the effect of the development on privacy, outlook and loss of light, however, the relationship between No 146 and the proposed dwelling appears to be similar to that which was granted planning permission under the scheme for two dwellings (Ref: 13/00833/FUL). In any event, I have not been provided with details of any local standards in relation privacy and/or separation distances that might be breached if the appeal were allowed. Consequently, I see no reason to dispute the Council's conclusions on these matters.

Conclusion

16. Whilst I have found the proposal's effect on the character and appearance of the area to be acceptable, this does not outweigh the conflict I have identified with LP policies IMP1 and REC3. For the reasons given above, I therefore conclude that the appeal should be dismissed.

D. M. Young

Inspector

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PLANNING APPEAL PROGRESS REPORT

SITUATION AS AT: 06.11.15

WR - WRITTEN REPRESENTATIONS

IH - INFORMAL HEARING

PI - PUBLIC INQUIRY

FILE REF	CASE OFFICER	APPLICATION NO	TYPE	APPELLANT	DEVELOPMENT	SITUATION	DATES
	JB	15/00186/COU (PINS Ref 3137291)	WR	Mrs Andrea Bailey	40D Ratby Lane Markfield (Part change of use of dwelling to nursery/childcare)	Awaiting Start Date	
	HW	15/00061/OUT (PINS Ref 3136187)	WR	Mrs Gill Moore	42 Coventry Road Burbage (Erection of a dwelling following demolition of existing garage (outline -	Awaiting Start Date	
		15/00077/FUL	WR	Mr Michael Taberer	48 Roseway Stoke Golding (Proposed dwelling and associated access)	Awaiting Start Date	
	RW	15/00778/FUL	WR	Mr & Mrs Nigel Axon	55 Greenmoor Road Burbage (Erection of a single storey dwelling)	Awaiting Start Date	
	JB	14/00924/FUL (PINS Ref 3136005)	WR	Plesvale Ltd	Land West Of Dodwells Road Hinckley (Erection of two storey "drive-through" restaurant with associated parking and landscaping)	Awaiting Start Date	
	CA	14/01247/COU (PINS Ref 3135595)	IH	Mr Albert Connors	Land To The East Wallace Drive Groby (Change of use of land to 2 No. Gypsy / Traveller pitches, including day room and associated works)	Awaiting Start Date	
	RWR	15/00437/FUL (PINS Ref 3133608)	IH	Thomas Knapp	Land Rear Of 99 To 107 Lutterworth Road Burbage (Erection of a dwelling and associated parking)	Awaiting Start Date	
15/00025/PP	HW	15/00205/OUT (PINS Ref 3133397)	WR	Judi Cookes	2A Drayton Lane Fenny Drayton Nuneaton	Start Date Statement of Case Final Comments	06.10.15 10.11.15 24.11.15
15/00026/ENF	CA	15/00145/UNUSEH (PINS Ref 3132569)	WR	Michael Cash	Land North West Of Cold Comfort Farm Rogues Lane Hinckley (Unauthorised Traveller Encampment)	Start Date Questionnaire 3rd Party Notification Statement of Case Final Comments	26.10.15 09.11.15 09.11.15 07.12.15 28.12.15

15/00020/ENF	CA	14/00175/UNBLDS (PINS Ref 3131877)	WR	Mr Tuhel Miah	23 Station Road Ratby (Without planning permission the change of use from the use within Class A3 of the Use Classes Order 1987 (as amended) (the Order) for the sale of food or drink for the consumption on the premises to a mixed use for the sale of food and drink for consumption on the premises and for the sale of food and drink for consumption off the premises Class A5 of the Use Classes Order 1987 (as amended) (the Order))	Final Comments	09.09.15 11.11.15
15/00022/PP	JB	14/01121/FUL (PINS Ref 3103270)	WR	Mrs Rebecca Dawe	28 Lutterworth Road Burbage (Erection of a dwelling)	Start Date Final Comments	28.09.15 16.11.15
15/00013/PP	SGARB	14/01274/OUT (PINS Ref 3081119)	IH	JH Hallam & Son Ltd	Land Beech Drive Thornton (Residential development of up to 49 dwellings (Outline - access))	Start Date Hearing Date	09.07.15 08.12.15
15/00018/PP	RWE	14/01258/FUL (PINS Ref 3129673)	WR	Temporis Wind Limited	Land at Little Markfield Farm, Forest Road, Markfield (Erection of 1 Wind Turbine)	Start Date Awaiting Decision	29.07.15
15/00021/PP	RW	14/00944/FUL (PINS Ref 3049337)	WR	Mr Stephen Goodman	Craigmore Farm Merrylees Road Newbold Verdon (Erection of one new dwelling and detached garage with associated access)	Start Date Final Comments	28.09.15 16.11.15
15/00028/PP	SA	14/01205/OUT (PINS Ref 3033714)	IH	Davidsons Homes	Land To The South West Of Lutterworth Road Burbage (Residential development for up to 80 dwellings, open space and associated works (outline - access only))	Start Date Questionnaire 3rd Party Notification Statement of Case Final Comments	02.11.15 09.11.12 09.11.12 07.12.15 28.12.15
15/00014/PP	EO	14/00435/OUT (PINS Ref 3031324)	PI	Jupiter Strategic Land Ltd	Land At Cunnery Close West Of Bosworth Road East Of A447 Ashby Road Osbaston (Erection of up to 450 dwellings, 900m2 of B1 uses, 400m2 of A1 to A4 uses 1300m2 of D1 uses (Outline - Access Only))	Start Date Proof of Evidence Public Inquiry Date (5 days)	15.07.15 22.03.16 19-26.04.16
15/00010/HEDGE	JB	14/00065/UNUSES (APP/HH/15/1431)	WR	Michael John Birchall	34 Peckleton Lane Desford (High hedge)	Start Date Awaiting Decision	22.05.15

15/00017/PP	SA	14/00729/FUL (PINS Ref 3031279)	WR	AGR Renewables Ltd	Land North West Of Barlestone Road Bagworth (Installation of 1 No. wind turbine (up to 94 metres in tip height) and associated infrastructure)	Start Date Awaiting Decision	29.07.15
15/00005/PP	SA	14/00475/OUT (PINS Ref 3004910)	PI	Mr Terry McGreal	Land Off Dorchester Road, Sherborne Road And Illminster Close Burbage (Residential development (outline - access only))	Start Date Public Inquiry (4 days)	19.03.15 1-4.12.15

Decisions Received

15/00009/PP	RW	14/01074/FUL (PINS Ref 3013851)	WR	Mr Nick Jollands	148 Kirkby Road Barwell (Erection of a dwelling (resubmitted scheme))	DISMISSED	28.10.15
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Rolling 1 April - 30 October 2015

Planning Appeal Decisions

No of Appeal Decisions	Allowed	Dismissed	Split	Withdrawn	Officer Decision			Councillor Decision			Non Determination		
					Allow	Spt	Dis	Allow	Spt	Dis	Allow	Spt	Dis
15	2	10	0	3	2	0	9	0	0	1	0	0	1

Enforcement Appeal Decisions

No of Appeal Decisions	Allowed	Dismissed	Split	Withdrawn
2		2		

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Delegated Applications determined between 02/10/2015 and 06/11/2015

<i>Ward</i>	<i>Reference</i>	<i>Decision</i>	<i>Date of Decision</i>	<i>Applicants Name</i>	<i>Address</i>
Ambien					
	15/00728/FUL	PLANNING PERMISSION	16/10/2015	MIRA Ltd	Mira Ltd Watling Street Caldecote Nuneaton Warwickshire CV10 0TT Erection of laboratory / workshop and office building (Use Class B1b)
	15/00891/FUL	PLANNING PERMISSION	30/10/2015	MIRA Limited	Mira Ltd Watling Street Caldecote Nuneaton Warwickshire CV10 0TT Proposed erection of temporary modular building
	15/00917/OUT	REFUSAL OF PLANNING PERMISSION	12/10/2015	Mrs Annette Quinney	Cloneen Ivy Close Stoke Golding Nuneaton Leicestershire CV13 6HH Erection of three dormer bungalows (outline - access, layout and scale)
	15/00937/FUL	PLANNING PERMISSION	13/10/2015	Mr Moseley	The Lake House Bosworth Road Wellsborough Nuneaton Leicestershire CV13 6PB Erection of stables and construction of manege
	15/00962/TPOCA	PERMIT CONSERVATION AREA TPO WORKS	15/10/2015	Mrs Jane Smith	50 High Street Stoke Golding Nuneaton Leicestershire CV13 6HF Works to Ash and Yew x 2 trees
	15/01003/TPOCA	PERMIT CONSERVATION AREA TPO WORKS	29/10/2015	Mr	Chatsmoth Cottage Main Street Sutton Cheney Nuneaton Leicestershire CV13 0AG Works to a Poplar tree and pruning of a Damson tree
	15/01004/TPOCA	PERMIT CONSERVATION AREA TPO WORKS	28/10/2015	Mr	Laurel Cottage Main Street Sutton Cheney Nuneaton Leicestershire CV13 0AG Works to oak tree

<i>Ward</i>	<i>Reference</i>	<i>Decision</i>	<i>Date of Decision</i>	<i>Applicants Name</i>	<i>Address</i>
Barlestone Nailstone And Osbasto					
15/00769/FUL	PLANNING PERMISSION	26/10/2015	Mr G Ingham	Gnarley Farm Ashby Road Osbaston Nuneaton Leicestershire CV13 0HP	Conversion of existing farm building into farmshop, butchery and catering kitchen and the retention of two cold storage units (retrospective)
15/00886/HOU	PLANNING PERMISSION	06/10/2015	Mr Andrew Bell	34 Gregory Road Barlestone Nuneaton Leicestershire CV13 0ET	Demolition of existing garage, single storey extension to rear and erection of detached garage

<i>Ward</i>	<i>Reference</i>	<i>Decision</i>	<i>Date of Decision</i>	<i>Applicants Name</i>	<i>Address</i>
Barwell					
	15/00250/OUT	PLANNING PERMISSION	02/11/2015	VIDA Cleaning Services LTD	Arden Direct Marketing Ltd Island House Arthur Street Barwell Leicester Leicestershire LE9 8GZ
				Demolition of existing office block and erection of 13 units with associated car parking (outline - access, appearance, layout and scale)	
	15/00790/FUL	PLANNING PERMISSION	15/10/2015	Mr Jayendra Dasani	14 - 16 High Street Barwell Leicester Leicestershire LE9 8DQ
				Change of use of part of ground floor from retail (Use Class A1) and first floor from offices (Use Class A2) to form 4 x one bedroom flats (Use Class C3) including internal alterations and external alterations to shop front to form an additional access.	
	15/00940/TPO	PERMIT TREE PRESERVATION ORDER WORKS	27/10/2015	Mrs Karin Simpson	26 Ashleigh Gardens Barwell Leicester Leicestershire LE9 8LE
				Works to oak tree	
	15/00980/COU	PLANNING PERMISSION	03/11/2015	Mr Ashley Harrison	70 Bradgate Road Barwell Leicester Leicestershire LE9 8FA
				Change of use from dwellinghouse to mixed use dwellinghouse and day centre	
	15/01009/HHGDO	PRIOR APPROVAL NOT REQUIRED	21/10/2015	Miss Tkacenko	26 Bardon Road Barwell Leicester Leicestershire LE9 8FF
				Rear extension measuring 4 metres in depth; 3.3 metres in height to the ridge; and 2.4 metres to the eaves	

<i>Ward</i>	<i>Reference</i>	<i>Decision</i>	<i>Date of Decision</i>	<i>Applicants Name</i>	<i>Address</i>
Burbage Sketchley & Stretton					
15/00793/HOU	PLANNING PERMISSION	02/10/2015	Mr James Tarrant	14 Swains Green Burbage Hinckley Leicestershire LE10 2QX	Formation of dropped kerb
15/00899/HOU	PLANNING PERMISSION	07/10/2015	Mr Lee Martin	2 Maple Close Burbage Hinckley Leicestershire LE10 2JZ	Single storey rear extension
15/00926/HOU	PLANNING PERMISSION	13/10/2015	JM Knapp & Sons	18 Strutt Road Burbage Hinckley Leicestershire LE10 2EB	Demolition of existing single storey extension, raising of roof and two storey extension
15/00949/OUT	OUTLINE PLANNING PERMISSION	26/10/2015	A Frisby	131 Lutterworth Road Burbage Hinckley Leicestershire LE10 2DL	Subdivision of existing residential curtilage and erection of one dwelling (outline - all matters reserved)
15/00977/HOU	PLANNING PERMISSION	04/11/2015	Mr D Wakefield	4 Spinney Road Burbage Hinckley Leicestershire LE10 2NH	Extensions and alterations to dwelling

<i>Ward</i>	<i>Reference</i>	<i>Decision</i>	<i>Date of Decision</i>	<i>Applicants Name</i>	<i>Address</i>
Burbage St Catherines & Lash Hill					
	15/00893/HOU	PLANNING PERMISSION	06/10/2015	Mr R Mottram	165 Sapcote Road Burbage Hinckley Leicestershire LE10 2AT
				Erection of front porch	
	15/00921/HOU	PLANNING PERMISSION	13/10/2015	Mrs S. Weeks	16 St Catherines Close Burbage Hinckley Leicestershire LE10 2QD
				First floor side and rear extension and single storey rear extension (revised proposal)	
	15/00999/NOMAT	PERMIT NON MATERIAL AMENDMENTS	23/10/2015	Mr P Lawley	3 Elm Tree Drive Burbage Leicestershire LE10 2TX
				Non-material amendment of planning permission 15/00482/HOU for the alteration to conservatory roof	

<i>Ward</i>	<i>Reference</i>	<i>Decision</i>	<i>Date of Decision</i>	<i>Applicants Name</i>	<i>Address</i>
Cadeby Carlton M Bosworth & Sha					
	15/00607/FUL	APPLICATION WITHDRAWN	03/11/2015	Mr Steve Wong	Kingscliffe 48 Barton Road Market Bosworth Nuneaton Leicestershire CV13 0LQ
				Erection of dwelling with associated parking	
	15/00784/HOU	PLANNING PERMISSION	05/10/2015	Mr James Hardman	87B Main Street Carlton Nuneaton Leicestershire CV13 0BZ
				Proposed conservatory to rear	
	15/00799/FUL	PLANNING PERMISSION	09/10/2015	Mr N Sullivan	Cattows Farm House Insleys Lane Shackerstone Nuneaton Leicestershire CV13 6NL
				Demolition of existing outbuilding and erection of new dwelling, garage and carport.	
	15/00923/TPO	PERMIT TREE PRESERVATION ORDER WORKS	13/10/2015	Mrs Enid Howard	32 Northumberland Avenue Market Bosworth Nuneaton Leicestershire CV13 0RJ
				Works to oak tree	
	15/00955/HOU	PLANNING PERMISSION	30/10/2015	Mr Nick Smith	Deans Farm Main Road Bilstone Nuneaton Leicestershire CV13 6NG
				Demolition of garage and erection of two storey side and rear extensions	
	15/00966/TPOCA	PERMIT CONSERVATION AREA TPO WORKS	20/10/2015	The Crown Estate Commissioners	Mill Wheel Lodge Main Road Bilstone Nuneaton Leicestershire CV13 6NG
				Works to trees	
	15/00969/CLUE	CERTIFICATE OF LAWFUL EXISTING USE	03/11/2015	Mrs Lynn Bailey	Amblyn Stud Farm Hinckley Road Cadeby Nuneaton Leicestershire CV13 0BD
				Certificate of existing lawful use for residential accommodation	
	15/01006/NOMAT	PERMIT NON MATERIAL AMENDMENTS	06/10/2015	Mr Toby Ryley	Friezeland Farm Wellsborough Road Market Bosworth Nuneaton Leicestershire CV13 6LR
				Non-material amendment to planning permission 15/00153/FUL to incorporate stone quoins on building elevations	

<i>Ward</i>	<i>Reference</i>	<i>Decision</i>	<i>Date of Decision</i>	<i>Applicants Name</i>	<i>Address</i>
	15/01031/TPOCA	RECOMMENDATION ONLY	03/11/2015	Mr Brian Stoney	The Limes Shackerstone Road Congerstone Nuneaton Leicestershire CV13 6LX
				Felling of leylandi tree	
	15/01032/C	RECOMMENDATION ONLY	14/10/2015	Leicestershire County Council	Congerstone School Shackerstone Road Congerstone Nuneaton Leicestershire CV13 6NH
				Erection of community hub	
	15/01048/C	RECOMMENDATION ONLY	20/10/2015	Leicestershire County Council	Cadeby Quarry Naneby Hall Farm Brascote Lane Cadeby Nuneaton Leicestershire CV13 0BB
				Construction of a silt lagoon	

Earl Shilton

	15/00859/FUL	REFUSAL OF PLANNING PERMISSION	16/10/2015	Mr Thomas Sands	Sorrento 1 Thurlaston Lane Earl Shilton Leicester Leicestershire LE9 7EF
				Subdivision of plot and erection of dwelling to rear	
	15/00913/HOU	PLANNING PERMISSION	15/10/2015	Mr Phil Swinfen	29 Mill Lane Earl Shilton Leicester Leicestershire LE9 7AY
				Single storey rear extension	
	15/00959/GDO	GENERAL DEVELOPMENT ORDER	06/10/2015	Joanne Squires	Land Adjacent The Old Filling Station Leicester Road Earl Shilton Leicestershire
				Erection of agricultural building	
	15/00998/GDO	PRIOR APPROVAL NOT REQUIRED	13/10/2015	Mr Richard King	Dagleys Farm Potters Marston Lane Earl Shilton Leicestershire LE9 7TR
				Proposed steel portal framed cattle building	

<i>Ward</i>	<i>Reference</i>	<i>Decision</i>	<i>Date of Decision</i>	<i>Applicants Name</i>	<i>Address</i>
Groby					
	15/00667/HOU	PLANNING PERMISSION	21/10/2015	Mr & Mrs Essex	2 Lena Drive Groby Leicester Leicestershire LE6 0FJ
				Raising of roof including dormer windows and rooflights and single storey side extensions to front and rear	
	15/00774/HOU	PLANNING PERMISSION	16/10/2015	Mrs Vicky Palmer	4 Wolsey Close Groby Leicester Leicestershire LE6 0ZA
				Two storey rear extension	
	15/00808/ADV	PLANNING PERMISSION	21/10/2015	Co-operative Food Group	Co-operative Food Group Laundon Way Groby Leicester Leicestershire LE6 0YG
				Display of 3 x illuminated fascia signs and 8 x non-illuminated post mounted signs (retrospective)	
	15/00836/FUL	PLANNING PERMISSION	08/10/2015	C/o Wellsfield Associates	Budgens Laundon Way Groby Leicester Leicestershire LE6 0YG
				Subdivision of existing retail unit into two separate retail units including shop front alterations, installation of ATM machine, bollards and cycle racks and erection of a fence	
	15/00922/HOU	PLANNING PERMISSION	13/10/2015	Mr N McCarthy	19 Parklands Avenue Groby Leicester Leicestershire LE6 0BL
				Single storey side extension	
	15/00933/CLUE	REFUSAL OF CERT OF LAWFUL EXISTING USE	02/11/2015	Mr Arthur McDonaugh	Land To The North Of Newton Linford Lane Newtown Linford Lane Groby Leicestershire LE6 0FF
				Application for a Certificate of Lawful Existing Use for a dwelling	
	15/00944/HOU	PLANNING PERMISSION	21/10/2015	Mrs Carole Lilley	23 Marina Drive Groby Leicester Leicestershire LE6 0DX
				Replacement carport	
	15/00971/TPOCA	PERMIT CONSERVATION AREA TPO WORKS	20/10/2015	Liz Eaton	11 Markfield Road Groby Leicester Leicestershire LE6 0FL
				Works to laylandii trees	

<i>Ward</i>	<i>Reference</i>	<i>Decision</i>	<i>Date of Decision</i>	<i>Applicants Name</i>	<i>Address</i>
15/01007/NOMAT	PERMIT NON MATERIAL AMENDMENTS	15/10/2015	Mr M Randle	19 Sycamore Drive Groby Leicester Leicestershire LE6 0EW	Non-material amendment to planning permission 15/00449/HOU to change rear window to french door and additional window to side elevation

<i>Ward</i>	<i>Reference</i>	<i>Decision</i>	<i>Date of Decision</i>	<i>Applicants Name</i>	<i>Address</i>
Hinckley Castle					
	15/00523/FUL	PLANNING PERMISSION	29/10/2015	J M Knapp And Sons	20 Trinity Vicarage Road Hinckley Leicestershire LE10 0BX
				Erection of 2 bedroom bungalow	
	15/00704/COU	PLANNING PERMISSION	16/10/2015	Mr Wojciech Taczala	15 Regent Court Hinckley Leicestershire LE10 0AD
				Change of use from hairdressing salon to tattoo studio (retrospective)	
	15/00916/ADV	ADVERTISEMENT CONSENT	13/10/2015	Cineworld	The Crescent Station Road Hinckley Leicestershire
				Display of 6 No. illuminated Cineworld fascia signs	
	15/00928/LBC	LISTED BUILDING CONSENT	15/10/2015	Barclays Bank Plc	6A The Borough Hinckley Leicestershire LE10 1NL
				Interior alterations for replacement counter with stud partition housing self-service machines	
	15/00934/ADV	ADVERTISEMENT CONSENT	21/10/2015	Pets At Home Plc	3 Hawley Road Hinckley Leicestershire LE10 0PR
				Display of 4 x internally illuminated fascia signs, 4 x non-illuminated poster frames, 4 x non-illuminated window vinyls, 1 x non-illuminated foamex wall panel	
	15/00936/HOU	PLANNING PERMISSION	20/10/2015	Mrs Penny Johnson - Adams	11 Westfield Road Hinckley Leicestershire LE10 0QN
				Single storey rear extension	
	15/00952/FUL	PLANNING PERMISSION	28/10/2015	Sainsbury's Supermarkets Ltd	Sainsbury's 20 Rugby Road Hinckley Leicestershire LE10 0QD
				Erection of 2 x ANPR cameras to car park	
	15/00953/ADV	ADVERTISEMENT CONSENT	28/10/2015	Sainsbury's Supermarkets Ltd	Sainsbury's 20 Rugby Road Hinckley Leicestershire LE10 0QD
				Display of 1x internally illuminated totem sign, 1x part illuminated ANPR sign, 13x non-illuminated vinyl wall signs, 3x non-illuminated hanging sign, 1x internally illuminated vinyl wall sign, 77x non-illuminated post mounted sign, 6x non-illuminated wall mounted sign, 11x non-illuminated suspended sign and 1x non-illuminated totem sign	

<i>Ward</i>	<i>Reference</i>	<i>Decision</i>	<i>Date of Decision</i>	<i>Applicants Name</i>	<i>Address</i>
	15/00973/HOU	PLANNING PERMISSION	04/11/2015	Mr James Baker	5 Westfield Road Hinckley Leicestershire LE10 0QN
				Installation of external wall insulation to all external elevations of the property	
	15/01059/NOMAT	PERMIT NON MATERIAL AMENDMENTS	29/10/2015	Food At Best Ltd	Unit C9 The Crescent Station Road Hinckley Leicestershire LE10 1AW
				Non-material amendment of application ref. 13/00883/REM to install kitchen extraction system to Unit C9	
	15/01069/NOMAT	PERMIT NON MATERIAL AMENDMENTS	04/11/2015	Sainsbury's Supermarkets Ltd	Sainsbury's 20 Rugby Road Hinckley Leicestershire LE10 0QD
				Non-material amendment to planning permission 10/00743/OUT to revert back to the originally consented biomass boiler	
	15/01076/NOMAT	PERMIT NON MATERIAL AMENDMENTS	04/11/2015	Sainsbury's Supermarkets Ltd	Sainsbury's 20 Rugby Road Hinckley Leicestershire LE10 0QD
				Non-material amendment to planning permission 13/00883/REM to revert back to the originally consented biomass boiler and palaside fence enclosure	

<i>Ward</i>	<i>Reference</i>	<i>Decision</i>	<i>Date of Decision</i>	<i>Applicants Name</i>	<i>Address</i>
Hinckley Clarendon					
	15/00841/FUL	PLANNING PERMISSION	26/10/2015	Triumph Motorcycles Ltd.	Triumph Motorcycles Ltd Dodwells Road Hinckley Leicestershire LE10 3BZ
				New visitor centre and office space (resubmission)	
	15/00881/HOU	PLANNING PERMISSION	02/10/2015	Miss C Allman	Witzend 15 Hays Lane Hinckley Leicestershire LE10 0LA
				Single storey extension to front and first floor extension to side and front	
	15/00910/HOU	PLANNING PERMISSION	16/10/2015	Mrs Lucy Flatters	10 Glenbarr Drive Hinckley Leicestershire LE10 0UT
				Extension to dropped kerb	
	15/00924/HOU	PLANNING PERMISSION	13/10/2015	Miss G Oliver	407 Coventry Road Hinckley Leicestershire LE10 0NF
				Two storey side extension (revised proposal)	
	15/00943/TPO	PERMIT TREE PRESERVATION ORDER WORKS	27/10/2015	Mr Matthew Middleton	15 Marcian Close Hinckley Leicestershire LE10 0FB
				Works to oak tree	
	15/00963/HOU	PLANNING PERMISSION	04/11/2015	Orbit	156 Strathmore Road Hinckley Leicestershire LE10 0LS
				Installation of external wall insulation to front and rear elevations.	
	15/00975/HOU	PLANNING PERMISSION	04/11/2015	Mr James Baker	119 Westfield Road Hinckley Leicestershire LE10 0LT
				Installation of external wall insulation to all external elevations	

<i>Ward</i>	<i>Reference</i>	<i>Decision</i>	<i>Date of Decision</i>	<i>Applicants Name</i>	<i>Address</i>
Hinckley DeMontfort					
	15/00773/FUL	PLANNING PERMISSION	26/10/2015	Punch Taverns	The Ashby Tavern 62 Ashby Road Hinckley Leicestershire LE10 1SL
				Erection of 4 floodlights to premises and application of shiplap boarding to rear elevation.	
	15/00902/HOU	PLANNING PERMISSION	07/10/2015	Mr J Angliss	13 Bedale Avenue Hinckley Leicestershire LE10 1ST
				Re-roof garage and single storey rear extension	
	15/00957/CONDIT	PLANNING PERMISSION	02/11/2015	Mr David Marshall	Wavertree Spa Close Hinckley Leicestershire LE10 1HZ
				Application to vary condition 2 of planning permission 15/00643/FUL (approved plans) for an additional room in roof of plot 2	
	15/00976/HOU	REFUSAL OF PLANNING PERMISSION	30/10/2015	Mr Glyn Davies	45 Butt Lane Hinckley Leicestershire LE10 1LB
				Erection of detached garage to front (revised proposal)	

<i>Ward</i>	<i>Reference</i>	<i>Decision</i>	<i>Date of Decision</i>	<i>Applicants Name</i>	<i>Address</i>
Markfield Stanton & Fieldhead					
15/00745/FUL	PLANNING PERMISSION	08/10/2015	Mr L. Christopher	Fir Tree House Broad Lane Stanton Under Bardon Markfield Leicestershire LE67 9TB	Conversion of livestock shed to dwelling, erection of double garage and works to driveway and access
15/00780/COU	REFUSAL OF PLANNING PERMISSION	12/10/2015	Mrs Julia Newton Winfield	231 Shaw Lane Markfield Leicestershire LE67 9PW	Change of use to dog breeding establishment (retrospective)
15/00783/FUL	PLANNING PERMISSION	05/10/2015	Everards Brewery LTD	The Coach And Horses 196 Leicester Road Field Head Markfield Leicestershire LE67 9RF	Proposed lobby, landscaping and timber boarding to the front elevation and proposed extension to the rear elevation, with new timber cladding and alterations to garden lobby.
15/00853/TPO	TPO SPLIT DECISION PERMIT/REF	27/10/2015	Four Counties Tree SpecialistsLtd	1A Everards Way Stanton Under Bardon Markfield Leicestershire LE67 9TH	Works to laburnum, silver birch x2 and rowan trees
15/00860/FUL	PLANNING PERMISSION	07/10/2015		2 Copt Oak Road Copt Oak Markfield Leicestershire LE67 9PJ	New access and driveway to serve No. 2 Copt Oak Road, Markfield
15/00897/HOU	PLANNING PERMISSION	06/10/2015	Mr John Salmon	Borrow Dale Gates Whitwick Road Copt Oak Markfield Leicestershire LE67 9QB	Demolition of existing outbuilding and replacement outbuilding
15/00908/FUL	PLANNING PERMISSION	05/11/2015	Amazon Logistics	Premier Homes Logistics Interlink Way South Stanton Under Bardon Coalville Leicestershire LE67 1PG	Addition of 4 access doors to southern elevation of distribution building
15/00931/COU	PLANNING PERMISSION	04/11/2015	Mr W Richardson	295 Main Street Stanton Under Bardon Coalville Leicestershire LE67 9TQ	Change of use of agricultural land to residential curtilage (retrospective)

<i>Ward</i>	<i>Reference</i>	<i>Decision</i>	<i>Date of Decision</i>	<i>Applicants Name</i>	<i>Address</i>
15/00967/HOU	PLANNING PERMISSION	05/11/2015	Mrs M Starkey	92 Oakfield Avenue Markfield Leicestershire LE67 9WG	Single storey front extension

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Newbold Verdon With Desford & P					
15/00803/HOU	PLANNING PERMISSION	02/10/2015	Mrs Helen Pettigrew	Station House Station Road Desford Leicester Leicestershire LE9 9FP	Replacement fence and gate
15/00842/FUL	REFUSAL OF PLANNING PERMISSION	06/10/2015	Ms Susan Johnson	Land Adjacent To Polebrook Hayes Farm Markfield Lane Botcheston Leicester Leicestershire LE9 9FJ	Erection of agricultural store and extension to existing agricultural building to form new dwelling
15/00877/HOU	PLANNING PERMISSION	05/10/2015	Mr Anthony Partridge	47 Brascote Lane Newbold Verdon Leicester Leicestershire LE9 9LF	Porch to front, single storey extension to rear and pitched roof to garage
15/00895/HHGDO	GDO PRIOR APPROVAL NOT REQUIRED	05/10/2015	Mr James Gerrard	18 Rush Close Newbold Verdon Leicester Leicestershire LE9 9LX	Rear extension measuring 3.25 metres in depth; 3.2 metres in height to the ridge; and 2.5 metres to the eaves
15/00905/HOU	PLANNING PERMISSION	19/10/2015	Mr Henry	The Hovel Spinney Drive Botcheston Leicester Leicestershire LE9 9FG	Single storey side extension with balcony to roof
15/00911/TPO	PERMIT TREE PRESERVATION ORDER WORKS	09/10/2015	L Neal & J Ferrie Tree Sugery	8 Summers Close Kirkby Mallory Leicester Leicestershire LE9 7QP	Pollard T1 Lime and T2 Lime
15/00914/TPO	PERMIT TREE PRESERVATION ORDER WORKS	27/10/2015	Mr Oliver Pennington	3 The Finches Desford Leicester Leicestershire LE9 9DB	Lopping of oak tree (T3)
15/00919/HOU	PLANNING PERMISSION	08/10/2015	Mr Andrew Siddal	4 Hunts Lane Desford Leicester Leicestershire LE9 9LJ	First floor rear extension

<i>Ward</i>	<i>Reference</i>	<i>Decision</i>	<i>Date of Decision</i>	<i>Applicants Name</i>	<i>Address</i>
	15/00938/HOU	PLANNING PERMISSION	20/10/2015	Mr N Lees	2 Church Lane Stapleton Leicester Leicestershire LE9 8JJ
				Proposed extension and alterations to a Grade II Listed building	
	15/00939/LBC	LISTED BUILDING CONSENT	19/10/2015	Mr N Lees	2 Church Lane Stapleton Leicester Leicestershire LE9 8JJ
				Proposed extension and alterations to a Grade II Listed building.	
	15/00946/FUL	PLANNING PERMISSION	02/11/2015	Mr Steve Thompson	33 Desford Road Newbold Verdon Leicester Leicestershire LE9 9LG
				Demolition of existing dormer bungalow and erection of 2 No. dwellings	
	15/00954/TPO	PERMIT TREE PRESERVATION ORDER WORKS	27/10/2015	Mrs Ann Shurmer	The Stables 47 Church Road Kirkby Mallory Leicester Leicestershire LE9 7QE
				Works to trees	
	15/00964/HOU	PLANNING PERMISSION	29/10/2015	Dr Mick Salt	2 Littlefield Lane Desford Leicester Leicestershire LE9 9QZ
				Two storey side extension	
	15/00978/TPOCA	PERMIT CONSERVATION AREA TPO WORKS	19/10/2015	Ms Nicolette Johnson	78 Main Street Desford Leicester Leicestershire LE9 9GR
				Felling of conifers x4	
	15/01013/HEDGE	NOT IMPORTANT HEDGEROW REMOVAL	02/11/2015	Desford Lane Solar Farm Ltd	Land West Of The Poultry Farm Desford Lane Ratby Leicester Leicestershire LE9 9BF
				Removal of 10 metre section of hedgerow	
Ratby Bagworth And Thornton					
	15/00898/HOU	PLANNING PERMISSION	06/10/2015	Mr & Mrs M J & H E Davies	10 Stamford Street Ratby Leicester Leicestershire LE6 0JS
				Erection of garage, boundary wall and formation of dropped kerb (revised scheme)	

<i>Ward</i>	<i>Reference</i>	<i>Decision</i>	<i>Date of Decision</i>	<i>Applicants Name</i>	<i>Address</i>
Twycross Sheepy & Witherley					
15/00563/FUL	PLANNING PERMISSION	30/10/2015	Mrs Helen Dodd	Land Adjacent To 20 Church Lane Fenny Drayton Leicestershire	Erection of a dwelling and double garage
15/00571/HOU	REFUSAL OF PLANNING PERMISSION	13/10/2015	Ms Daniella Sullivan	19 Main Road Sheepy Magna Atherstone Leicestershire CV9 3QR	Proposed detached garage to front of plot 1
15/00871/FUL	PLANNING PERMISSION	02/10/2015	Mr Peter Simpson	Livestock Building Drayton Lane Fenny Drayton Leicestershire	Extension of a storage unit
15/00875/FUL	PLANNING PERMISSION	21/10/2015	Mrs Carol Muir	36 Old Forge Road Fenny Drayton Nuneaton Leicestershire CV13 6BD	Conversion of triple detached garage into home-office, storage and work space
15/00901/FUL	PLANNING PERMISSION	16/10/2015	Palem Developments Ltd	Tinker Fox Cottages Main Road Sheepy Magna Leicestershire	Widen existing driveway and access and construction of dropped kerb and footpath (retrospective)
15/00907/FUL	PLANNING PERMISSION	07/10/2015	Mr F J And R M Spencer	Adjacent Thompstone Cottage Main Road Sheepy Magna Atherstone Leicestershire CV9 3QU	Side extension to existing workshop
15/00912/HOU	PLANNING PERMISSION	13/10/2015	Mr B Gibbs	Glebe House Watling Street Fenny Drayton Nuneaton Leicestershire CV10 0SB	Single storey extension to ancillary outbuilding
15/00930/CRGDO	PRIOR APPROVAL NOT REQUIRED	21/10/2015	Mr Michael Hayward	Lea Grange Farm 11 Twycross Lane Orton On The Hill Atherstone Leicestershire CV9 3NP	Notification for proposed change of agricultural building to storage/distribution (B8)